

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS FOR WIRELESS TOWER SITES.
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ATC WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.

EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED FACILITY. THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJUTING LANDS

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM AMERICAN TOWER PRIOR TO IMPLEMENTATION.
- THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
- A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION UNTIL THE SITE IS STABILIZED, (AS APPLICABLE)
- PRIOR TO GRUBBING OR ANY EARTH-MOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. (CONSULT ATC CM AS REQUIRED)
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE DITCHES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL BLANKETS WILL ALSO BE INSTALLED IN ALL DITCHES TO BE REVEGETATED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- ANY EXPOSED SLOPES GREATER THAN 2:1 AND NEWLY CONSTRUCTED DRAINAGE DITCHES WILL

- BE STABILIZED WITH EROSION CONTROL BLANKET TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, RIPRAP WILL BE PLACED AT ALL CULVERT INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
 - IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COARSE.
 - NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
 - FINAL SEEDING WILL BE APPLIED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION.
 - SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE, PRIOR TO FREEZING. ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT. WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.
 - FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
 - THE CONTRACTOR WILL REGULARLY INSPECT THE PROJECT'S EROSION AND SEDIMENTATION CONTROLS DURING THE ENTIRE ACTIVE CONSTRUCTION STAGES. THE INSPECTIONS WILL BE PERFORMED WEEKLY AND AFTER ALL RUNOFF EVENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, OPERATION, MAINTENANCE, AND REMOVAL OF ALL EROSION AND SEDIMENTATION CONTROLS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. SEDIMENT THAT HAS BEEN TRAPPED BY THE SILT BARRIER WILL BE REMOVED AS REQUIRED, AND IN ALL CASES, BEFORE THE ACCUMULATION HAS REACHED HALF THE HEIGHT OF THE FENCE. THE SILT BARRIER WILL BE RE-ANCHORED, REPAIRED, OR REPLACED AS NECESSARY. ALL OTHER CONTROLS WILL BE INSPECTED ON THE SAME SCHEDULE. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATION OF THOSE INSTALLED WILL BE REQUIRED.
 - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
 - ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
 - FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION CONSTRUCTION SPECIFICATION AND/OR THE CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER.
 - SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

CONSTRUCTION SEQUENCE:

- REMOVE EXISTING FENCE AS SHOWN ON SITE PLAN.
- INSTALL GRAVEL.
- INSTALL PROPOSED CHAIN-LINK FENCE AS SHOWN ON PLANS.
- CONSTRUCT PROPOSED TOWER PER TOWER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ANY REQUIRED ICE BRIDGES PER ATC SPECIFICATIONS.
- DECONSTRUCT EXISTING TOWER ONLY ONCE THE PROPOSED TOWER IS ERECTED AND IN FULL WORKING CONDITION.
- IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY.

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND SUBMITTED TO ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (+/- 1.5%) WITH A MAXIMUM 4" SLUMP AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C-150, TYPE 1 OR 2
REINFORCEMENT:	ASTM A-185, PLAIN STEEL WELDED WIRE FABRIC
REINFORCEMENT BARS:	ASTM A615, GRADE 60, DEFORMED
NORMAL WEIGHT AGGREGATE:	ASTM C-33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

A. CONCRETE CAST AGAINST EARTH: 3"
B. ALL OTHER CONCRETE: 2"
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4. UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- CONCRETE SHALL BE RUBBED TO A ROUGH GROUT FINISH. PADS SHALL BE SEALED BY STEEL TROWEL.
- UNLESS OTHERWISE NOTED:

A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS
- SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8".
- BAR SUPPORTS SHALL BE ALL-GALVANIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82
- SLAB ON GROUND

A. COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.
B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.

GENERAL FOUNDATION NOTES:

(APPLICABLE FOR EQUIPMENT SHELTER ONLY)

- THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
- ALL REINFORCING STEEL SHALL BE ASTM A615 - GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
- VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY ATC CM OF ANY DISCREPANCIES.
- INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH.
- SHELTER MUST BE ANCHORED TO ITS FOUNDATION. ANCHOR IN ACCORDANCE WITH SHELTER MANUFACTURER SPECIFICATIONS.

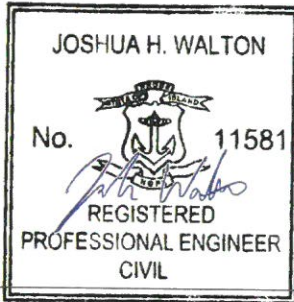


THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
△	FOR CONSTRUCTION	EB	10/09/24
△			
△			
△			
△			

ATC SITE NUMBER:
211903
ATC SITE NAME:
STRELO TOWN OF NORTH SMITHFIELD
SITE ADDRESS
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

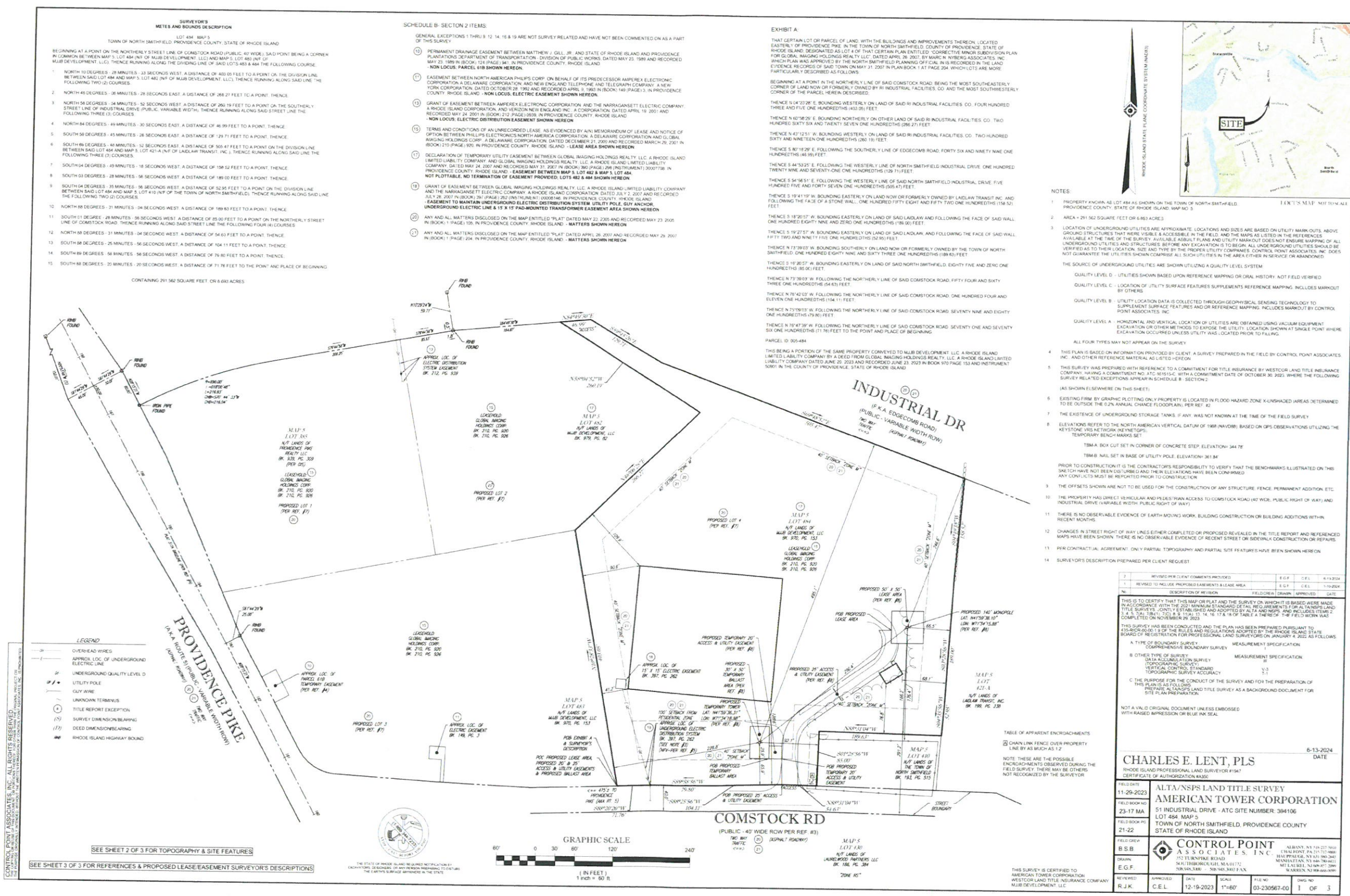


Digitally Signed: 2024-10-23

DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

GENERAL NOTES

SHEET NUMBER: G-002	REVISION: 0
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SURVEYOR'S METES AND BOUNDS DESCRIPTION

LOT 484 MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND

BEGINNING AT A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD (PUBLIC 40' WIDE) SAID POINT BEING A CORNER IN COMMON BETWEEN MAP 5, LOT 484 (N/4 OF MUD DEVELOPMENT, LLC) AND MAP 5, LOT 485 (N/4 OF MUD DEVELOPMENT, LLC); THENCE RUNNING ALONG THE DIVIDING LINE OF SAID LOTS 484 & 485 THE FOLLOWING COURSE:

- NORTH 10 DEGREES - 28 MINUTES - 33 SECONDS WEST, A DISTANCE OF 403.05 FEET TO A POINT ON THE DIVISION LINE BETWEEN SAID LOT 484 AND MAP 5, LOT 485 (N/4 OF MUD DEVELOPMENT, LLC); THENCE RUNNING ALONG SAID LINE THE FOLLOWING TWO (2) COURSES:
- NORTH 45 DEGREES - 36 MINUTES - 28 SECONDS EAST, A DISTANCE OF 268.27 FEET TO A POINT, THENCE:
- NORTH 56 DEGREES - 34 MINUTES - 52 SECONDS WEST, A DISTANCE OF 260.19 FEET TO A POINT ON THE SOUTHERLY STREET LINE OF INDUSTRIAL DRIVE (PUBLIC VARIABLE WIDTH); THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING THREE (3) COURSES:
- NORTH 84 DEGREES - 49 MINUTES - 30 SECONDS EAST, A DISTANCE OF 46.99 FEET TO A POINT, THENCE:
- SOUTH 59 DEGREES - 45 MINUTES - 26 SECONDS EAST, A DISTANCE OF 129.71 FEET TO A POINT, THENCE:
- SOUTH 86 DEGREES - 48 MINUTES - 52 SECONDS EAST, A DISTANCE OF 501.47 FEET TO A POINT ON THE DIVISION LINE BETWEEN SAID LOT 484 AND MAP 5, LOT 421-A (N/4 OF LADLAW TRANSIT, INC.); THENCE RUNNING ALONG SAID LINE THE FOLLOWING THREE (3) COURSES:
- SOUTH 04 DEGREES - 49 MINUTES - 18 SECONDS WEST, A DISTANCE OF 158.52 FEET TO A POINT, THENCE:
- SOUTH 03 DEGREES - 28 MINUTES - 56 SECONDS WEST, A DISTANCE OF 189.00 FEET TO A POINT, THENCE:
- SOUTH 04 DEGREES - 35 MINUTES - 56 SECONDS WEST, A DISTANCE OF 52.95 FEET TO A POINT ON THE DIVISION LINE BETWEEN SAID LOT 484 AND MAP 5, LOT 410 (N/4 OF THE TOWN OF NORTH SMITHFIELD); THENCE RUNNING ALONG SAID LINE THE FOLLOWING TWO (2) COURSES:
- NORTH 88 DEGREES - 31 MINUTES - 04 SECONDS WEST, A DISTANCE OF 169.83 FEET TO A POINT, THENCE:
- NORTH 01 DEGREE - 28 MINUTES - 56 SECONDS WEST, A DISTANCE OF 85.00 FEET TO A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD, THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING FOUR (4) COURSES:
- NORTH 38 DEGREES - 21 MINUTES - 34 SECONDS WEST, A DISTANCE OF 54.63 FEET TO A POINT, THENCE:
- NORTH 38 DEGREES - 25 MINUTES - 54 SECONDS WEST, A DISTANCE OF 104.11 FEET TO A POINT, THENCE:
- SOUTH 89 DEGREES - 56 MINUTES - 54 SECONDS WEST, A DISTANCE OF 76.80 FEET TO A POINT, THENCE:
- SOUTH 88 DEGREES - 20 MINUTES - 20 SECONDS WEST, A DISTANCE OF 71.76 FEET TO A POINT AND PLACE OF BEGINNING.

CONTAINING 291,562 SQUARE FEET, OR 6.683 ACRES

LEGEND

- OVERHEAD WIRES
- APPROX. LOC. OF UNDERGROUND ELECTRIC LINE
- UNDERGROUND QUALITY LEVEL D
- UTILITY POLE
- GUY WIRE
- UNKNOWN TERMINUS
- TITLE REPORT EXCEPTION
- SURVEY DIMENSION BEARING
- DEED DIMENSION BEARING
- RHODE ISLAND HIGHWAY BOUND

SCHEDULE B- SECTION 2 ITEMS

GENERAL EXCEPTIONS 1 THRU 9, 12, 14, 15 & 19 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

- PERMANENT DRAINAGE EASEMENT BETWEEN MATTHEW J. GILL, JR. AND STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS, DATED MAY 23, 1989 AND RECORDED MAY 23, 1989 IN BOOK 124 (PAGE 94), IN PROVIDENCE COUNTY, RHODE ISLAND.
- EASEMENT BETWEEN NORTH AMERICAN PHILIPS CORP. ON BEHALF OF ITS PREDECESSOR AMPREX ELECTRONIC CORPORATION, A DELAWARE CORPORATION, AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, A NEW YORK CORPORATION, DATED OCTOBER 28, 1992 AND RECORDED APRIL 3, 1993 IN BOOK 149 (PAGE 3), IN PROVIDENCE COUNTY, RHODE ISLAND. - NON LOCUS. ELECTRIC EASEMENT SHOWN HEREON.
- GRANT OF EASEMENT BETWEEN AMPREX ELECTRONIC CORPORATION AND THE NARRAGANSETT ELECTRIC COMPANY, A RHODE ISLAND CORPORATION, AND VERIZON NEW ENGLAND INC., A CORPORATION DATED APRIL 18, 2001 AND RECORDED MAY 24, 2001 IN BOOK 212 (PAGE 1939), IN PROVIDENCE COUNTY, RHODE ISLAND. - NON LOCUS. ELECTRIC DISTRIBUTION EASEMENT SHOWN HEREON.
- TERMS AND CONDITIONS OF AN UNRECORDED LEASE, AS EVIDENCED BY ANI MEMORANDUM OF LEASE AND NOTICE OF OPTION BETWEEN PHILLIPS ELECTRONICS NORTH AMERICA CORPORATION, A DELAWARE CORPORATION AND GLOBAL IMAGING HOLDINGS CORP., A DELAWARE CORPORATION, DATED DECEMBER 21, 2000 AND RECORDED MARCH 25, 2001 IN BOOK 170 (PAGE 189), IN PROVIDENCE COUNTY, RHODE ISLAND. - LEASE AREA SHOWN HEREON.
- DECLARATION OF TEMPORARY UTILITY EASEMENT BETWEEN GLOBAL IMAGING HOLDINGS REALTY, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY, AND GLOBAL IMAGING HOLDINGS REALTY, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY, DATED MAY 24, 2007 AND RECORDED MAY 31, 2007 IN BOOK 360 (PAGE 258) (INSTRUMENT) 20070788, IN PROVIDENCE COUNTY, RHODE ISLAND. - EASEMENT BETWEEN MAP 5, LOT 482 & MAP 5, LOT 484. NOT PLOTTABLE. NO TERMINATION OF EASEMENT PROVIDED. LOTS 482 & 484 SHOWN HEREON.
- GRANT OF EASEMENT BETWEEN GLOBAL IMAGING HOLDINGS REALTY, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY AND THE NARRAGANSETT ELECTRIC COMPANY, A RHODE ISLAND CORPORATION, DATED JULY 2, 2007 AND RECORDED JULY 26, 2007 IN BOOK 361 (PAGE 186) (INSTRUMENT) 20070788, IN PROVIDENCE COUNTY, RHODE ISLAND. - EASEMENT BETWEEN MAP 5, LOT 482 & MAP 5, LOT 484. NOT PLOTTABLE. NO TERMINATION OF EASEMENT PROVIDED. LOTS 482 & 484 SHOWN HEREON.
- ANY AND ALL MATTERS DISCLOSED ON THE MAP ENTITLED "PLAT" DATED MAY 22, 2005 AND RECORDED MAY 23, 2005 IN BOOK 1 (PAGE 138), IN PROVIDENCE COUNTY, RHODE ISLAND. - MATTERS SHOWN HEREON.
- ANY AND ALL MATTERS DISCLOSED ON THE MAP ENTITLED "PLAT" DATED APRIL 26, 2007 AND RECORDED MAY 29, 2007 IN BOOK 1 (PAGE 204), IN PROVIDENCE COUNTY, RHODE ISLAND. - MATTERS SHOWN HEREON.

EXHIBIT A

THAT CERTAIN LOT OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON, LOCATED EASTERLY OF PROVIDENCE PIKE, IN THE TOWN OF NORTH SMITHFIELD, COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, DESIGNATED AS LOT 4 OF THAT CERTAIN PLAN ENTITLED "CORRECTIVE MINOR SUBDIVISION PLAN FOR GLOBAL IMAGING HOLDINGS REALTY, LLC" DATED APRIL 26, 2007, BY MARC H. WIERING ASSOCIATES, INC. WHICH PLAN WAS APPROVED BY THE NORTH SMITHFIELD PLANNING OFFICIAL IN IS RECORDED IN THE LAND EXTENSION RECORDS OF SAID TOWN ON MAY 31, 2007 IN PLAN BOOK 1 AT PAGE 204, WHICH LOTS ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF SAID COMSTOCK ROAD, BEING THE MOST SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY OWNED BY RI INDUSTRIAL FACILITIES CO. AND THE MOST SOUTHWESTERLY CORNER OF THE PARCEL HEREIN DESCRIBED;

THENCE S 14° 22' 00" E. BOUNDING WESTERLY ON LAND OF SAID RI INDUSTRIAL FACILITIES CO., FOUR HUNDRED THREE AND FIVE ONE HUNDREDTHS (403.05) FEET;

THENCE N 60° 26' 20" E. BOUNDING NORTHERLY ON OTHER LAND OF SAID RI INDUSTRIAL FACILITIES CO., TWO HUNDRED SIXTY SIX AND TWENTY SEVEN ONE HUNDREDTHS (266.27) FEET;

THENCE N 43° 12' 51" W. BOUNDING WESTERLY ON LAND OF SAID RI INDUSTRIAL FACILITIES CO., TWO HUNDRED SIXTY AND NINETEEN ONE HUNDREDTHS (260.19) FEET;

THENCE S 80° 18' 20" E. FOLLOWING THE SOUTHERLY LINE OF EDGECOMB ROAD, FORTY SIX AND NINETY NINE ONE HUNDREDTHS (46.99) FEET;

THENCE S 44° 52' 00" E. FOLLOWING THE WESTERLY LINE OF NORTH SMITHFIELD INDUSTRIAL DRIVE, ONE HUNDRED TWENTY NINE AND SEVENTY ONE ONE HUNDREDTHS (129.71) FEET;

THENCE S 54° 56' 51" E. FOLLOWING THE WESTERLY LINE OF SAID NORTH SMITHFIELD INDUSTRIAL DRIVE, FIVE HUNDRED FIVE AND SEVEN ONE HUNDREDTHS (501.47) FEET;

THENCE S 19° 41' 19" W. BOUNDING EASTERLY ON LAND NOW OR FORMERLY OWNED BY LADLAW TRANSIT INC. AND FOLLOWING THE FACE OF A STONE WALL, ONE HUNDRED FIFTY EIGHT AND FIFTY TWO ONE HUNDREDTHS (158.52) FEET;

THENCE S 18° 20' 15" W. BOUNDING EASTERLY ON LAND OF SAID LADLAW, AND FOLLOWING THE FACE OF SAID WALL, ONE HUNDRED EIGHTY NINE AND ZERO ONE HUNDREDTHS (189.00) FEET;

THENCE S 19° 27' 57" W. BOUNDING EASTERLY ON LAND OF SAID LADLAW, AND FOLLOWING THE FACE OF SAID WALL, FIFTY TWO AND NINE THIRTY FIVE ONE HUNDREDTHS (52.95) FEET;

THENCE N 73° 39' 53" W. BOUNDING SOUTHERLY ON LAND NOW OR FORMERLY OWNED BY THE TOWN OF NORTH SMITHFIELD, ONE HUNDRED EIGHTY NINE AND SIXTY THREE ONE HUNDREDTHS (189.83) FEET;

THENCE S 19° 20' 15" W. BOUNDING EASTERLY ON LAND OF SAID NORTH SMITHFIELD, EIGHTY FIVE AND ZERO ONE HUNDREDTHS (85.00) FEET;

THENCE N 73° 39' 53" W. FOLLOWING THE NORTHERLY LINE OF SAID COMSTOCK ROAD, FIFTY FOUR AND SIXTY THREE ONE HUNDREDTHS (54.63) FEET;

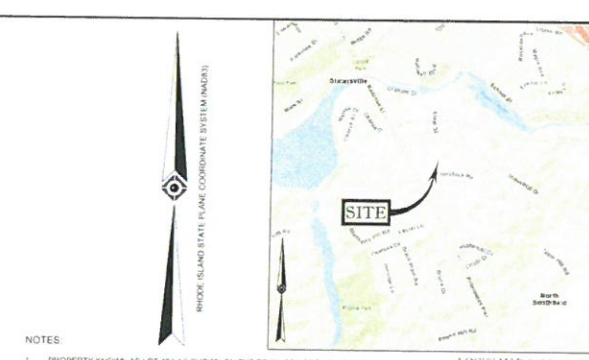
THENCE N 75° 42' 03" W. FOLLOWING THE NORTHERLY LINE OF SAID COMSTOCK ROAD, ONE HUNDRED FOUR AND ELEVEN ONE HUNDREDTHS (104.11) FEET;

THENCE N 75° 42' 03" W. FOLLOWING THE NORTHERLY LINE OF SAID COMSTOCK ROAD, SEVENTY NINE AND EIGHTY ONE HUNDREDTHS (79.80) FEET;

THENCE N 75° 42' 03" W. FOLLOWING THE NORTHERLY LINE OF SAID COMSTOCK ROAD, SEVENTY ONE AND SEVENTY SIX ONE HUNDREDTHS (71.76) FEET TO THE POINT AND PLACE OF BEGINNING.

PARCEL ID: 905-484

THIS BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MUD DEVELOPMENT, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY BY A DEED FROM GLOBAL IMAGING HOLDINGS REALTY, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY DATED JUNE 29, 2023 AND RECORDED JUNE 23, 2023 IN BOOK 970 (PAGE 153) AND INSTRUMENT 20230619 IN THE COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND.



NOTES

- PROPERTY KNOWN AS LOT 484 AS SHOWN ON THE TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND, MAP NO. 5.
- AREA = 291,562 SQUARE FEET OR 6.683 ACRES.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUTS DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION IS TO BEGUN. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT APPEAR ON THE SURVEY

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE BY WESTCOR LAND TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. ATC 81515-IC, WITH A COMMITMENT DATE OF OCTOBER 30, 2023, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - SECTION 2:
- (AS SHOWN ELSEWHERE ON THIS SHEET)
- EXISTING FIRM BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER REF. #2)
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD83) BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNET) TEMPORARY BENCH-MARKS SET
- TBM-A: BOX CUT SET IN CORNER OF CONCRETE STEP, ELEVATION: 344.78
- TBM-B: NAIL SET IN BASE OF UTILITY POLE, ELEVATION: 361.84

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED

ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION

- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO COMSTOCK ROAD (40' WIDE, PUBLIC RIGHT OF WAY) AND INDUSTRIAL DRIVE (VARIABLE WIDTH PUBLIC RIGHT OF WAY)
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS
- CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS
- PER CONTRACTUAL AGREEMENT, ONLY PARTIAL TOPOGRAPHY AND PARTIAL SITE FEATURES HAVE BEEN SHOWN HEREON
- SURVEYOR'S DESCRIPTION PREPARED PER CLIENT REQUEST

NO.	REVISION	DATE
1	REVISED PER CLIENT COMMENTS PROVIDED	6-13-2024
2	REVISED TO INCLUDE PROPOSED EASEMENTS & LEASE AREA	6-13-2024

NO.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1					

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARDS FOR ALTA AND NSPS, AND THAT THE SURVEYORS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 415-RICR-0001.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

A. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION: COMPREHENSIVE BOUNDARY SURVEY

B. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION: DATA ACQUISITION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL: STANDARD TOPOGRAPHIC SURVEY ACCURACY: V-3 1:1

C. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE ALTA/NSPS LAND TITLE SURVEY AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

CHARLES E. LENT, PLS

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #485

6-13-2024
DATE

FIELD DATE: 11-29-2023
FIELD BOOK NO: 23-17 MA
FIELD BOOK PG: 21-22

FIELD CREW: BSB
DRAWING: EGF

REVIEWED: RJK
DATE: 12-19-2023
SCALE: 1"=60'
FILE NO: 03-230607-00
SHEET NO: 1 OF 3

ALTA/NSPS LAND TITLE SURVEY
AMERICAN TOWER CORPORATION
51 INDUSTRIAL DRIVE - ATC SITE NUMBER: 394106
LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY
STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.
157 TURNPIKE ROAD
SOUTH BURLINGTON, MA 01772
(508) 445-3381 • (508) 445-3303 FAX
ALBANY, NY 12212-7610
CHALFONTE, PA 21717-0800
HAUPPAUGE, NY 11787-0800
MANHATTAN, NY 10044-7801
NEW LANSING, MI 48060-2800
WARRREN, NJ 08060-0000

SURVEYOR'S
METES AND BOUNDS DESCRIPTION
PROPOSED 20' ACCESS & UTILITY EASEMENT
LOCATED ON LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD (PUBLIC, 40' WIDE), SAID POINT BEING ON THE
DIVISION LINE BETWEEN MAP 5, LOT 484 (N/F OF MJB DEVELOPMENT, LLC) AND MAP 5, LOT 483 (N/F OF MJB DEVELOPMENT, LLC);
THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING THREE (3) COURSES:

A. NORTH 88 DEGREES - 20 MINUTES - 20 SECONDS EAST, A DISTANCE OF 77.76 FEET TO A POINT, THENCE;
B. NORTH 89 DEGREES - 58 MINUTES - 56 SECONDS EAST, A DISTANCE OF 79.40 FEET TO A POINT, THENCE;
C. NORTH 86 DEGREES - 25 MINUTES - 56 SECONDS EAST, A DISTANCE OF 104.11 FEET TO THE POINT AND PLACE OF BEGINNING,
THENCE TURNING AND RUNNING WITHIN MAP 5, LOT 484 THE FOLLOWING EIGHTEEN (18) COURSES:

1. NORTH 01 DEGREE - 10 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
2. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
3. ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 85.11 FEET, WITH A RADIUS OF 73.28 FEET, A CENTRAL ANGLE
OF 50 DEGREES - 57 MINUTES - 18 SECONDS, WITH A CHORD BEARING OF NORTH 26 DEGREES - 22 MINUTES - 37 SECONDS
EAST, WITH A CHORD LENGTH OF 83.05 FEET, THENCE;
4. NORTH 54 DEGREES - 48 MINUTES - 06 SECONDS EAST, A DISTANCE OF 135.54 FEET TO A POINT, THENCE;
5. ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 52.81 FEET, WITH A RADIUS OF 34.49 FEET, A CENTRAL ANGLE
OF 87 DEGREES - 24 MINUTES - 14 SECONDS, WITH A CHORD BEARING OF NORTH 11 DEGREES - 07 MINUTES - 30 SECONDS
EAST, WITH A CHORD LENGTH OF 47.66 FEET, THENCE;
6. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 19.87 FEET TO A POINT, THENCE;
7. SOUTH 00 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
8. SOUTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 11.54 FEET TO A POINT, THENCE;
9. ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 37.50 FEET, WITH A RADIUS OF 54.40 FEET, A CENTRAL ANGLE
OF 26 DEGREES - 32 MINUTES - 15 SECONDS, WITH A CHORD BEARING OF SOUTH 14 DEGREES - 38 MINUTES - 43 SECONDS
WEST, WITH A CHORD LENGTH OF 27.36 FEET, THENCE;
10. NORTH 34 DEGREES - 03 MINUTES - 00 SECONDS WEST, A DISTANCE OF 0.25 FEET TO A POINT, THENCE;
11. SOUTH 06 DEGREES - 53 MINUTES - 56 SECONDS WEST, A DISTANCE OF 5.10 FEET TO A POINT, THENCE;
12. SOUTH 32 DEGREES - 19 MINUTES - 56 SECONDS EAST, A DISTANCE OF 5.73 FEET TO A POINT, THENCE;
13. SOUTH 57 DEGREES - 40 MINUTES - 05 SECONDS WEST, A DISTANCE OF 24.14 FEET TO A POINT, THENCE;
14. SOUTH 32 DEGREES - 05 MINUTES - 06 SECONDS EAST, A DISTANCE OF 2.36 FEET TO A POINT, THENCE;
15. SOUTH 54 DEGREES - 48 MINUTES - 06 SECONDS WEST, A DISTANCE OF 100.14 FEET TO A POINT, THENCE;
16. ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 40.10 FEET, WITH A RADIUS OF 48.28 FEET, A CENTRAL ANGLE
OF 50 DEGREES - 07 MINUTES - 43 SECONDS, WITH A CHORD BEARING OF SOUTH 06 DEGREES - 08 MINUTES - 27 SECONDS
WEST, WITH A CHORD LENGTH OF 40.88 FEET, THENCE;
17. SOUTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 19.53 FEET TO A POINT, THENCE;
18. SOUTH 01 DEGREE - 10 MINUTES - 00 SECONDS EAST, A DISTANCE OF 40.90 FEET TO A POINT ON THE NORTHERLY STREET
LINE OF COMSTOCK ROAD, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
19. NORTH 84 DEGREES - 31 MINUTES - 04 SECONDS WEST, A DISTANCE OF 25.03 FEET TO THE POINT AND PLACE OF
BEGINNING.

CONTAINING 7.661 SQUARE FEET, 0.176 ACRES

SURVEYOR'S
METES AND BOUNDS DESCRIPTION
PROPOSED 50' X 10' LEASE AREA
LOCATED ON LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD (PUBLIC, 40' WIDE), SAID POINT BEING ON THE
DIVISION LINE BETWEEN MAP 5, LOT 484 (N/F OF MJB DEVELOPMENT, LLC) AND MAP 5, LOT 483 (N/F OF MJB DEVELOPMENT, LLC);
THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING THREE (3) COURSES:

A. NORTH 88 DEGREES - 20 MINUTES - 20 SECONDS EAST, A DISTANCE OF 77.76 FEET TO A POINT, THENCE;
B. NORTH 89 DEGREES - 58 MINUTES - 56 SECONDS EAST, A DISTANCE OF 79.40 FEET TO A POINT, THENCE;
C. NORTH 86 DEGREES - 25 MINUTES - 56 SECONDS EAST, A DISTANCE OF 104.11 FEET TO A POINT, THENCE, TURNING AND
RUNNING WITHIN MAP 5, LOT 484 THE FOLLOWING SIX (6) COURSES:

D. NORTH 01 DEGREE - 10 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
E. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
F. ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 80.17 FEET, WITH A RADIUS OF 73.28 FEET, A CENTRAL ANGLE
OF 50 DEGREES - 57 MINUTES - 18 SECONDS, WITH A CHORD BEARING OF NORTH 26 DEGREES - 22 MINUTES - 37 SECONDS EAST,
WITH A CHORD LENGTH OF 80.00 FEET, THENCE;
G. NORTH 54 DEGREES - 48 MINUTES - 06 SECONDS EAST, A DISTANCE OF 136.54 FEET TO A POINT, THENCE;
H. ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 52.81 FEET, WITH A RADIUS OF 34.49 FEET, A CENTRAL ANGLE
OF 87 DEGREES - 24 MINUTES - 14 SECONDS, WITH A CHORD BEARING OF NORTH 11 DEGREES - 07 MINUTES - 30 SECONDS EAST,
WITH A CHORD LENGTH OF 47.66 FEET, THENCE;
I. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 19.87 FEET TO THE POINT AND PLACE OF BEGINNING,
THENCE:

1. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 30.00 FEET TO A POINT, THENCE;
2. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A POINT, THENCE;
3. SOUTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A POINT, THENCE;
4. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 30.00 FEET TO A POINT, THENCE;
5. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 20.00 FEET TO THE POINT AND PLACE OF
BEGINNING.

CONTAINING 2.106 SQUARE FEET, 0.047 ACRES

- REFERENCES
1. THE TAX ASSESSORS MAP OF NORTH SMITHFIELD, PROVIDENCE COUNTY, MAP 5.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM - RRM, FLOOD INSURANCE RATE MAP,
PROVIDENCE COUNTY, RHODE ISLAND, JURISDICTION: PANEL 152 OF 451", MAP NUMBER
440702152G, MAP EFFECTIVE: MARCH 2, 2009.
3. MAP ENTITLED "MINOR SUBDIVISION PLAN, SLATINSVILLE CORPORATE CENTER, NORTH SMITHFIELD,
RHODE ISLAND, OWNER/APPLICANT: GLOBAL IMAGING HOLDINGS REALTY, LLC, 51 INDUSTRIAL DRIVE, NORTH
SMITHFIELD, 02886", PREPARED BY PRECIPING GROUP LLC, DATED MAY 23, 2008, RECORDED WITH TOWN
OF NORTH SMITHFIELD, RHODE ISLAND, REGISTRY OF DEEDS IN PLAN BK 1, PG. 105.
4. RHODE ISLAND STATE BOARD OF PUBLIC ROADS, HIGHWAY ENGINEERING DEPARTMENT, NORTH SMITHFIELD,
PROVIDENCE, RI, PLAT 317A, SHEETS 20-21 OF 22.
5. ELECTRIC MAPPING IN THE AREA PROVIDED BY NATIONAL GRID.
6. GAS MAPPING IN THE AREA PROVIDED BY RHODE ISLAND ENERGY.
7. MAP ENTITLED "CORRECTIVE MINOR SUBDIVISION PLAN, FOR GLOBAL IMAGING HOLDINGS REALTY, LLC,
RECORDED LOTS 1, 2, 3 & 4, NORTH SMITHFIELD, RHODE ISLAND", PREPARED BY MARC N. NYBERG
ASSOCIATES, INC., DATED APRIL 26, 2007, RECORDED WITH TOWN OF NORTH SMITHFIELD, RHODE ISLAND,
REGISTRY OF DEEDS IN PLAN BK 1, PG. 204.
8. MAP ENTITLED "LEASE EXHIBIT, ATC SITE NUMBER: 36M106, ATC SITE NAME: TOWN OF NORTH SMITHFIELD
SITE ADDRESS: 40 COMSTOCK RD, NORTH SMITHFIELD, RI 02886", PREPARED BY ATC TOWER SERVICES, LLC,
DATED MAY 18, 2023, LAST REVISED OCTOBER 15, 2002, PROVIDED BY THE CLIENT.
9. MARKUP OF SURVEY SHOWING LOCATION OF TEMPORARY UTILITY POLES, PROVIDED BY THE CLIENT.

SURVEYOR'S
METES AND BOUNDS DESCRIPTION
PROPOSED TEMPORARY 20' ACCESS & UTILITY EASEMENT
LOCATED ON LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD (PUBLIC, 40' WIDE), SAID POINT BEING ON THE
DIVISION LINE BETWEEN MAP 5, LOT 484 (N/F OF MJB DEVELOPMENT, LLC) AND MAP 5, LOT 483 (N/F OF MJB DEVELOPMENT, LLC);
THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING THREE (3) COURSES:

A. NORTH 88 DEGREES - 20 MINUTES - 20 SECONDS EAST, A DISTANCE OF 77.76 FEET TO A POINT, THENCE;
B. NORTH 89 DEGREES - 58 MINUTES - 56 SECONDS EAST, A DISTANCE OF 79.40 FEET TO A POINT, THENCE;
C. NORTH 86 DEGREES - 25 MINUTES - 56 SECONDS EAST, A DISTANCE OF 104.11 FEET, THENCE, TURNING AND RUNNING WITHIN
MAP 5, LOT 484 THE FOLLOWING COURSE:
D. NORTH 01 DEGREE - 10 MINUTES - 00 SECONDS WEST, A DISTANCE OF 40.90 FEET TO THE POINT AND PLACE OF BEGINNING,
THENCE:

1. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
2. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
3. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 20.00 FEET TO A POINT, THENCE;
4. SOUTH 00 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO THE POINT AND PLACE OF
BEGINNING.

CONTAINING 400 SQUARE FEET, 0.009 ACRES

SURVEYOR'S
METES AND BOUNDS DESCRIPTION
PROPOSED TEMPORARY 30' X 50' BALLAST AREA
LOCATED ON LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF COMSTOCK ROAD (PUBLIC, 40' WIDE), SAID POINT BEING ON THE
DIVISION LINE BETWEEN MAP 5, LOT 484 (N/F OF MJB DEVELOPMENT, LLC) AND MAP 5, LOT 483 (N/F OF MJB DEVELOPMENT, LLC);
THENCE RUNNING ALONG SAID STREET LINE THE FOLLOWING THREE (3) COURSES:

A. NORTH 88 DEGREES - 20 MINUTES - 20 SECONDS EAST, A DISTANCE OF 77.76 FEET TO A POINT, THENCE;
B. NORTH 89 DEGREES - 58 MINUTES - 56 SECONDS EAST, A DISTANCE OF 79.40 FEET TO A POINT, THENCE;
C. NORTH 86 DEGREES - 25 MINUTES - 56 SECONDS EAST, A DISTANCE OF 104.11 FEET, THENCE, TURNING AND RUNNING WITHIN
MAP 5, LOT 484 THE FOLLOWING TWO (2) COURSES:
D. NORTH 01 DEGREE - 10 MINUTES - 00 SECONDS WEST, A DISTANCE OF 40.90 FEET TO A POINT, THENCE;
E. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 20.00 FEET TO THE POINT AND PLACE OF BEGINNING,
THENCE:

1. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 30.00 FEET TO A POINT, THENCE;
2. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A POINT, THENCE;
3. NORTH 90 DEGREES - 00 MINUTES - 00 SECONDS EAST, A DISTANCE OF 30.00 FEET TO A POINT, THENCE;
4. NORTH 00 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 30.00 FEET TO A POINT, THENCE;
5. SOUTH 00 DEGREES - 00 MINUTES - 00 SECONDS WEST, A DISTANCE OF 50.00 FEET TO THE POINT AND PLACE OF
BEGINNING.

CONTAINING 1,500 SQUARE FEET, 0.034 ACRES

THIS SURVEY IS CERTIFIED TO:
AMERICAN TOWER CORPORATION,
WESTCOAST AND TITLE INSURANCE COMPANY
MJB DEVELOPMENT, LLC

2	REVISED PER CLIENT COMMENTS PROVIDED	E.G.F	C.E.L	6-13-2024	
1	REVISED TO INCLUDE PROPOSED EASEMENTS & LEASE AREA	E.G.F	C.E.L	1-11-2024	
N:	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE
IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD OF PRACTICE REQUIREMENTS FOR ALL LANDS, LAND
TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,
3 & 5, (A), (B), (C), (D), (E), (F), (G), (H), (I), (J), (K), (L), (M), (N), (O), (P), (Q), (R), (S), (T), (U), (V), (W), (X), (Y), (Z), (AA), (AB), (AC), (AD), (AE), (AF), (AG), (AH), (AI), (AJ), (AK), (AL), (AM), (AN), (AO), (AP), (AQ), (AR), (AS), (AT), (AU), (AV), (AW), (AX), (AY), (AZ), (BA), (BB), (BC), (BD), (BE), (BF), (BG), (BH), (BI), (BJ), (BK), (BL), (BM), (BN), (BO), (BP), (BQ), (BR), (BS), (BT), (BU), (BV), (BW), (BX), (BY), (BZ), (CA), (CB), (CC), (CD), (CE), (CF), (CG), (CH), (CI), (CJ), (CK), (CL), (CM), (CN), (CO), (CP), (CQ), (CR), (CS), (CT), (CU), (CV), (CW), (CX), (CY), (CZ), (DA), (DB), (DC), (DD), (DE), (DF), (DG), (DH), (DI), (DJ), (DK), (DL), (DM), (DN), (DO), (DP), (DQ), (DR), (DS), (DT), (DU), (DV), (DW), (DX), (DY), (DZ), (EA), (EB), (EC), (ED), (EE), (EF), (EG), (EH), (EI), (EJ), (EK), (EL), (EM), (EN), (EO), (EP), (EQ), (ER), (ES), (ET), (EU), (EV), (EW), (EX), (EY), (EZ), (FA), (FB), (FC), (FD), (FE), (FF), (FG), (FH), (FI), (FJ), (FK), (FL), (FM), (FN), (FO), (FP), (FQ), (FR), (FS), (FT), (FU), (FV), (FW), (FX), (FY), (FZ), (GA), (GB), (GC), (GD), (GE), (GF), (GG), (GH), (GI), (GJ), (GK), (GL), (GM), (GN), (GO), (GP), (GQ), (GR), (GS), (GT), (GU), (GV), (GW), (GX), (GY), (GZ), (HA), (HB), (HC), (HD), (HE), (HF), (HG), (HI), (HJ), (HK), (HL), (HM), (HN), (HO), (HP), (HQ), (HR), (HS), (HT), (HU), (HV), (HW), (HX), (HY), (HZ), (IA), (IB), (IC), (ID), (IE), (IF), (IG), (IH), (II), (IJ), (IK), (IL), (IM), (IN), (IO), (IP), (IQ), (IR), (IS), (IT), (IU), (IV), (IW), (IX), (IY), (IZ), (JA), (JB), (JC), (JD), (JE), (JF), (JG), (JH), (JI), (JJ), (JK), (JL), (JM), (JN), (JO), (JP), (JQ), (JR), (JS), (JT), (JU), (JV), (JW), (JX), (JY), (JZ), (KA), (KB), (KC), (KD), (KE), (KF), (KG), (KH), (KI), (KJ), (KL), (KM), (KN), (KO), (KP), (KQ), (KR), (KS), (KT), (KU), (KV), (KW), (KX), (KY), (KZ), (LA), (LB), (LC), (LD), (LE), (LF), (LG), (LH), (LI), (LJ), (LK), (LL), (LM), (LN), (LO), (LP), (LQ), (LR), (LS), (LT), (LU), (LV), (LW), (LX), (LY), (LZ), (MA), (MB), (MC), (MD), (ME), (MF), (MG), (MH), (MI), (MJ), (MK), (ML), (MM), (MN), (MO), (MP), (MQ), (MR), (MS), (MT), (MU), (MV), (MW), (MX), (MY), (MZ), (NA), (NB), (NC), (ND), (NE), (NF), (NG), (NH), (NI), (NJ), (NK), (NL), (NM), (NN), (NO), (NP), (NQ), (NR), (NS), (NT), (NU), (NV), (NW), (NX), (NY), (NZ), (OA), (OB), (OC), (OD), (OE), (OF), (OG), (OH), (OI), (OJ), (OK), (OL), (OM), (ON), (OO), (OP), (OQ), (OR), (OS), (OT), (OU), (OV), (OW), (OX), (OY), (OZ), (PA), (PB), (PC), (PD), (PE), (PF), (PG), (PH), (PI), (PJ), (PK), (PL), (PM), (PN), (PO), (PP), (PQ), (PR), (PS), (PT), (PU), (PV), (PW), (PX), (PY), (PZ), (QA), (QB), (QC), (QD), (QE), (QF), (QG), (QH), (QI), (QJ), (QK), (QL), (QM), (QN), (QO), (QP), (QQ), (QR), (QS), (QT), (QU), (QV), (QW), (QX), (QY), (QZ), (RA), (RB), (RC), (RD), (RE), (RF), (RG), (RH), (RI), (RJ), (RK), (RL), (RM), (RN), (RO), (RP), (RQ), (RR), (RS), (RT), (RU), (RV), (RW), (RX), (RY), (RZ), (SA), (SB), (SC), (SD), (SE), (SF), (SG), (SH), (SI), (SJ), (SK), (SL), (SM), (SN), (SO), (SP), (SQ), (SR), (SS), (ST), (SU), (SV), (SW), (SX), (SY), (SZ), (TA), (TB), (TC), (TD), (TE), (TF), (TG), (TH), (TI), (TJ), (TK), (TL), (TM), (TN), (TO), (TP), (TQ), (TR), (TS), (TT), (TU), (TV), (TW), (TX), (TY), (TZ), (UA), (UB), (UC), (UD), (UE), (UF), (UG), (UH), (UI), (UJ), (UK), (UL), (UM), (UN), (UO), (UP), (UQ), (UR), (US), (UT), (UU), (UV), (UW), (UX), (UY), (UZ), (VA), (VB), (VC), (VD), (VE), (VF), (VG), (VH), (VI), (VJ), (VK), (VL), (VM), (VN), (VO), (VP), (VQ), (VR), (VS), (VT), (VU), (VV), (VW), (VX), (VY), (VZ), (WA), (WB), (WC), (WD), (WE), (WF), (WG), (WH), (WI), (WJ), (WK), (WL), (WM), (WN), (WO), (WP), (WQ), (WR), (WS), (WT), (WU), (WV), (WW), (WX), (WY), (WZ), (XA), (XB), (XC), (XD), (XE), (XF), (XG), (XH), (XI), (XJ), (XK), (XL), (XM), (XN), (XO), (XP), (XQ), (XR), (XS), (XT), (XU), (XV), (XW), (XZ), (YA), (YB), (YC), (YD), (YE), (YF), (YG), (YH), (YI), (YJ), (YK), (YL), (YM), (YN), (YO), (YP), (YQ), (YR), (YS), (YT), (YU), (YV), (YW), (YX), (YZ), (ZA), (ZB), (ZC), (ZD), (ZE), (ZF), (ZG), (ZH), (ZI), (ZJ), (ZK), (ZL), (ZM), (ZN), (ZO), (ZP), (ZQ), (ZR), (ZS), (ZT), (ZU), (ZV), (ZW), (ZX), (ZY), (ZZ).

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO
A JURISDICTION 1.5 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE
BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 8, 2012, AS FOLLOWS:

- A. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY 1
B. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACQUISITION SURVEY 10
TOPOGRAPHIC SURVEY 11
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY 1-1
C. THIS PLAN IS AS FOLLOWS:
PREPARE ALTA/NSPS LAND TITLE SURVEY AS A BACKGROUND DOCUMENT FOR
SITE PLAN PREPARATION

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED
WITH RAISED IMPRESSION OR BLUE INK SEAL

6-13-2024
DATE

CHARLES E. LENT, PLS
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION FOR SIGNATURE

FILE DATE: 11-29-2023
FIELD BOOK NO.: 23-17 MA
FIELD BOOK PG.: 21-22
FIELD ORDER: B.S.B.
DRAWING: E.G.F.
REVIEWED: R.J.K.
DATE: 12-19-2023
SCALE: 1"=20'
FILE NO.: 03-230567-00
DWS NO.: 3 OF 3

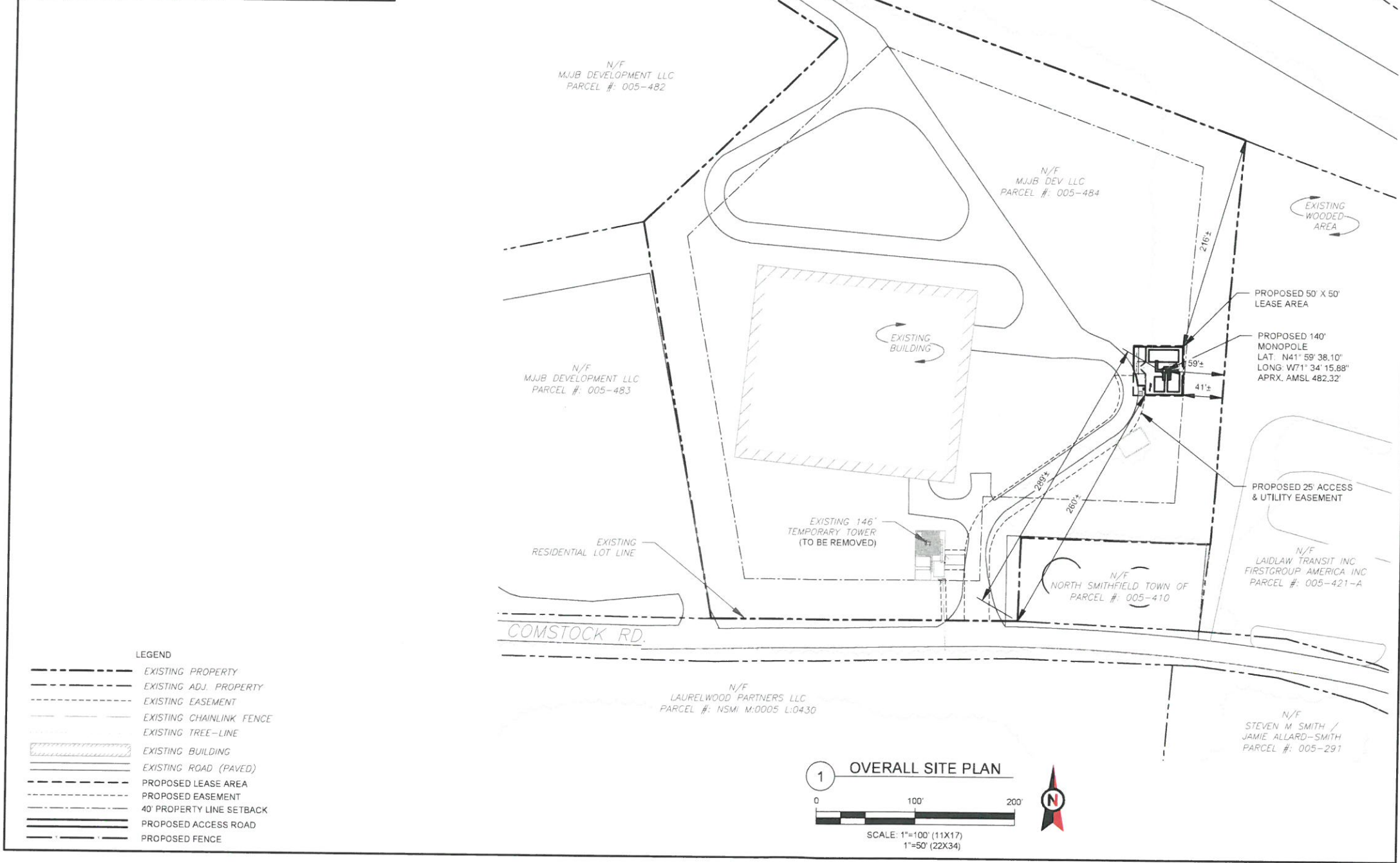
ALTA/NSPS LAND TITLE SURVEY
AMERICAN TOWER CORPORATION
51 INDUSTRIAL DRIVE - ATC SITE NUMBER: 364106
LOT 484, MAP 5
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY
STATE OF RHODE ISLAND

CONTROL POINT
ASSOCIATES, INC.
ALBANY, NY 12212-0900
CHALFONTS, PA 21512-0900
HARTFORD, CT 06103-0900
MANHATTAN, NY 10017-0900
MET LANSING, MI 48207-0900
WARRICK, IN 46784-0900

SEE SHEET 1 OF 3 FOR OVERALL BOUNDARY, NOTES & TITLE MATTERS

SEE SHEET 2 OF 3 FOR TOPOGRAPHY & SITE FEATURES

ZONING INFORMATION		
DISTRICT: MANUFACTURING (M)		
MIN AREA	REQUIRED	PROPOSED
MAX HEIGHT	N/A	N/A
MIN FRONT YARD SETBACK	125'	140' A.G.L.
MIN SIDE YARD SETBACK	40'	260'±
*MIN FRONT YARD SETBACK	40'	41'±
STRUCTURE SETBACK FROM RESIDENTIAL LOT LINE	100'	216'±
TOWER SETBACK FROM RESIDENTIAL LOT LINE	500'	260'±
TOWER SETBACK FROM LOT LINE OF COMMERCIAL OR MANUFACTURING STRUCTURE OR USE	210'	289'±
PARENT PARCEL IS CONSIDERED A THROUGH LOT WITH TWO FRONT YARD PROPERTY LINES.		



AMERICAN TOWER®
AMERICAN TOWERS, LLC
1 FENTON MAIN STREET
SUITE 300
CARY, NC 27511
PHONE: (919) 468-0112
COA: PE.0008090

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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:
211903

ATC SITE NAME:
STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. **11581**

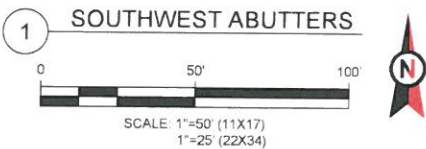
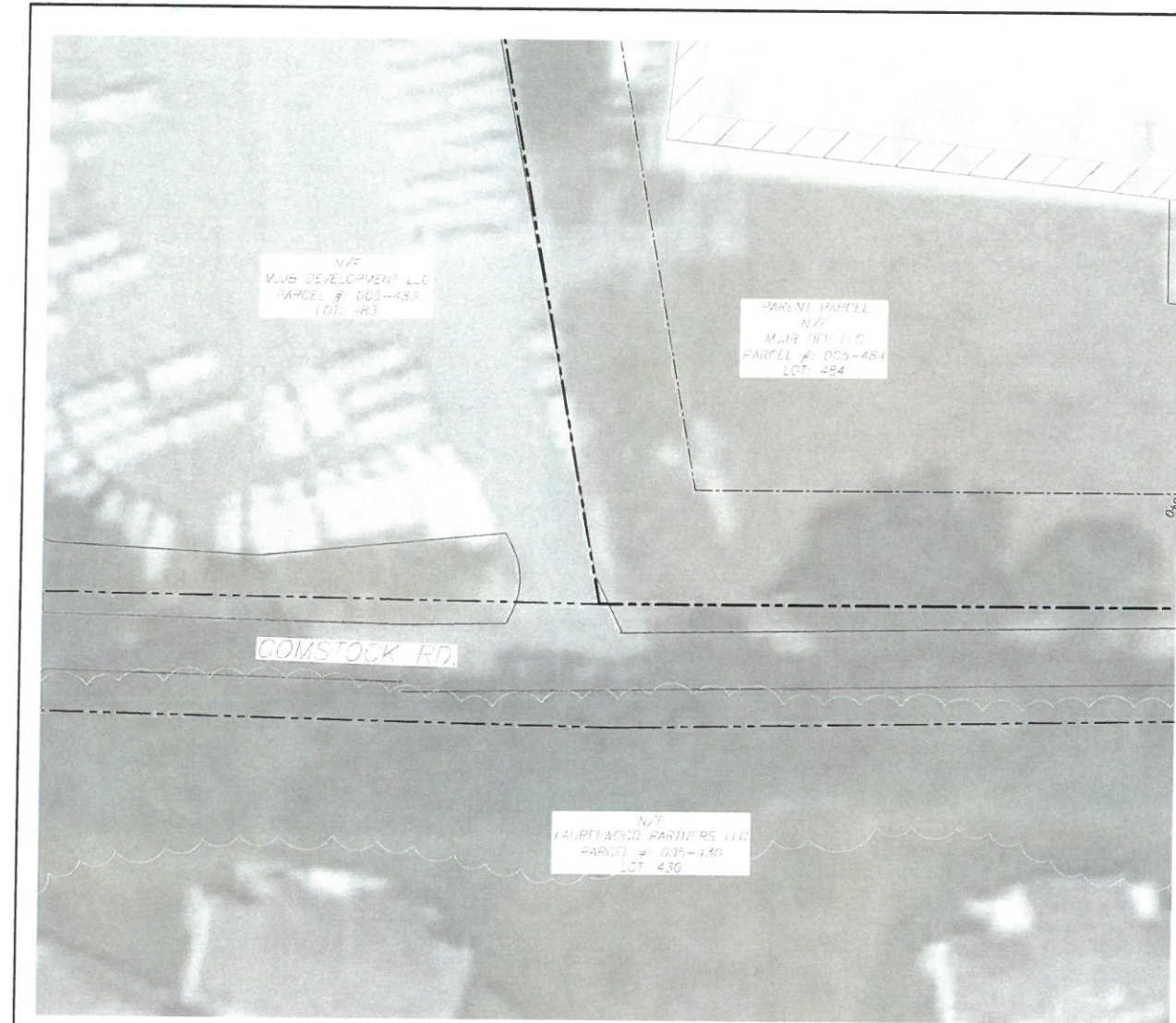
REGISTERED PROFESSIONAL ENGINEER CIVIL

Digitally Signed: 2024-10-23

DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

OVERALL SITE PLAN

SHEET NUMBER:	REVISION:
C-101	0



- LEGEND
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - EXISTING EASEMENT
 - EXISTING CHAINLINK FENCE
 - EXISTING TREE-LINE
 - EXISTING BUILDING
 - EXISTING ROAD (PAVED)
 - PROPOSED LEASE AREA
 - PROPOSED EASEMENT
 - 40' PROPERTY LINE SETBACK
 - PROPOSED ACCESS ROAD
 - PROPOSED FENCE

200 FOOT RADIUS ABUTTERS LIST			
LOT NUMBER	OWNER	STREET NUMBER/UNIT	PRESENT USE
483	MJB DEVELOPMENT LLC	10 COMSTOCK RD	STORAGE LOT
	LAURELWOOD PARTNERS LLC	170 PROVIDENCE PK	RESIDENTIAL
	RICHARD E WOODLACOTT REVOCABLE TRUST RICHARD E & JACQUELINE TRUSTEES	170 PROVIDENCE PK 1	RESIDENTIAL
	DUMAS ANNE M TRUSTEE 2012 REVOC LIVING TRUST	170 PROVIDENCE PK 2	RESIDENTIAL
	BURKE DONNA M IRREVOCABLE TRUST DAVID A BURKE TRUSTEE	170 PROVIDENCE PK 3	RESIDENTIAL
	MACDONALD ROBERT B MACDONALD DONNA M	170 PROVIDENCE PK 4	RESIDENTIAL
	LEMEUX JOHN N & JEANETTE M LIFE ESTATE	170 PROVIDENCE PK 5	RESIDENTIAL
	WIKARTY RITA A	170 PROVIDENCE PK 6	RESIDENTIAL
	MORIN JAMES L	170 PROVIDENCE PK 7	RESIDENTIAL
	HALLE CLARK LIVING TRUST HALLE M CLARK TRUSTEE	170 PROVIDENCE PK 8	RESIDENTIAL
	GARY MARY	170 PROVIDENCE PK 9	RESIDENTIAL
	HEATH ELAINE B	170 PROVIDENCE PK 10	RESIDENTIAL
	CHAMPAGNE PAUL J & JUDY LIFE	170 PROVIDENCE PK 11	RESIDENTIAL
	ROQUE FAMILY TRUST JOSEPH & MARGARET ROQUE TRUSTEES	170 PROVIDENCE PK 12	RESIDENTIAL
	BEAUDRY RICHARD & VIMAN LIFE	170 PROVIDENCE PK 13	RESIDENTIAL
	GERMAINE T PAULETTE TRUST GERMAINE T PAULETTE TRUSTEE	170 PROVIDENCE PK 14	RESIDENTIAL
	RIDGON FAMILY TRUST JOHN G & KATHLEEN M TRUSTEES	170 PROVIDENCE PK 15	RESIDENTIAL
	ONEIL J FAMILY TRUST DANIEL M & MARJORIE E TRUSTEES	170 PROVIDENCE PK 16	RESIDENTIAL
	MOLYNEUX CAROL	170 PROVIDENCE PK 17	RESIDENTIAL
	ROWSEWITT CAROL N TRUST TRUSTEE	170 PROVIDENCE PK 18	RESIDENTIAL
	GULBAULT TRUST ELIZABETH M GULBAULT TRUSTEE	170 PROVIDENCE PK 19	RESIDENTIAL
	TAYLOR VIRGINIA	170 PROVIDENCE PK 20	RESIDENTIAL
	HERMAN FAMILY TRUST PAUL J & JOAN J TRUSTEES	170 PROVIDENCE PK 21	RESIDENTIAL
	MAURICE T DONNE LIVING TRUST MAURICE T & GENEVIEVE M TRUSTEES	170 PROVIDENCE PK 22	RESIDENTIAL
	KIM J SUVAJAN TRUST KIM J SUVAJAN TRUSTEE	170 PROVIDENCE PK 23	RESIDENTIAL
	LOMBARDO FRANKS C LOMBARDO SHARON L	170 PROVIDENCE PK 24	RESIDENTIAL
	LAFAMME LOUIS J & JOANN M	170 PROVIDENCE PK 25	RESIDENTIAL
	STARD FRANK & JOAN	170 PROVIDENCE PK 26	RESIDENTIAL
	DOLBEC ROGER R & JOYCE J	170 PROVIDENCE PK 27	RESIDENTIAL
	RICHARD LINDA M	170 PROVIDENCE PK 28	RESIDENTIAL
	PELLETIER JACQUELINE C	170 PROVIDENCE PK 29	RESIDENTIAL
	GIGLIO CELINE	170 PROVIDENCE PK 30	RESIDENTIAL
	WOODARD HONOR JR & LILLIAN L	170 PROVIDENCE PK 31	RESIDENTIAL
	BAKER LINDA M	170 PROVIDENCE PK 32	RESIDENTIAL
	CUMMINGS REVOCABLE TRUST JOHN A CUMMINGS TRUSTEE	170 PROVIDENCE PK 33	RESIDENTIAL
	BRICKSON STEVEN C & JEAN A	170 PROVIDENCE PK 34	RESIDENTIAL
	ST PIERRE JULIE LIFE ESTATE	170 PROVIDENCE PK 35	RESIDENTIAL
	WALLLOUX RONALD W & ESTELLE J	170 PROVIDENCE PK 36	RESIDENTIAL
	EDWARD J & MAUREEN C LANFREDI REVOC TRUST EDWARD J & MAUREEN C LANFREDI TRUSTEES	170 PROVIDENCE PK 37	RESIDENTIAL
	LAPRADE PAUL H & CORNELIA M	170 PROVIDENCE PK 38	RESIDENTIAL
	BEAUVARS TRUSTEE PATRICIA A PATRICIA BEAUVARS IRREVOCABLE TRUST	170 PROVIDENCE PK 39	RESIDENTIAL
	BRULE FAMILY TRUST RONALD R & PAULA R TRUSTEES	170 PROVIDENCE PK 40	RESIDENTIAL
	DIANE C HOLT IRREVOCABLE TRUST JACK & CYNTHIA ANNE HOLT TRUSTEES	170 PROVIDENCE PK 41	RESIDENTIAL
	LEMAY LEWIS E JR & BEVERLY A	170 PROVIDENCE PK 42	RESIDENTIAL
	REYNOLDS JOHN R & LINDA M	170 PROVIDENCE PK 43	RESIDENTIAL
	HASEF JOSEPH W JR & SUSANA M TRUST TRUSTEES	170 PROVIDENCE PK 44	RESIDENTIAL
	LANDRY ROBERT T & DORIS B	170 PROVIDENCE PK 45	RESIDENTIAL

AMERICAN TOWER[®]
AMERICAN TOWERS, LLC
1 FENTON MAIN STREET
SUITE 300
CARY, NC 27511
PHONE: (919) 468-0112
COA: PE.0008090

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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:
211903

ATC SITE NAME:
STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. **11581**

REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Digitally Signed: 2024-10-23

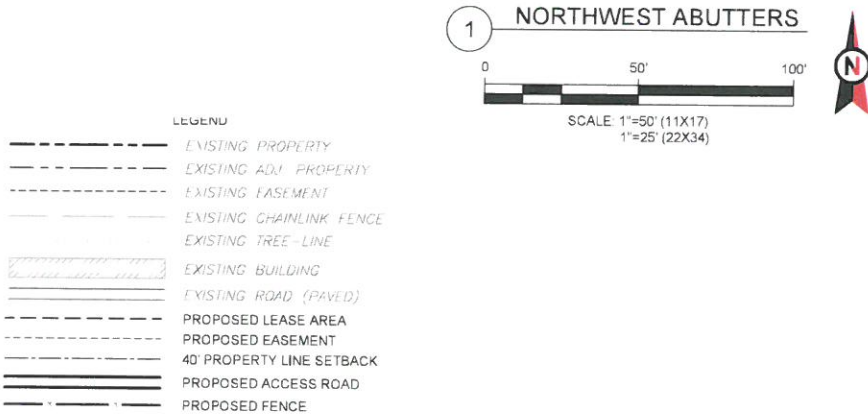
DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D8
OPS JOB NO:	14182382
ATC LEGACY #:	394106

SOUTHWEST CORNER ABUTTERS

SHEET NUMBER: C-102	REVISION: 0
-------------------------------	-----------------------



200 FOOT RADIUS ABUTTERS LIST			
LOT NUMBER	OWNER	STREET NUMBER/UNIT	PRESENT USE
360	K & B PROPERTIES LLC	20 PROVIDENCE PIKE	CABINET MANUFACTURER
422	FERREIRA & SANTOS REAL ESTATE LLC	9 STEELE ST	FLOORING MANUFACTURER
482	MJJB DEVELOPMENT LLC	23 INDUSTRIAL DR	MANUFACTURER



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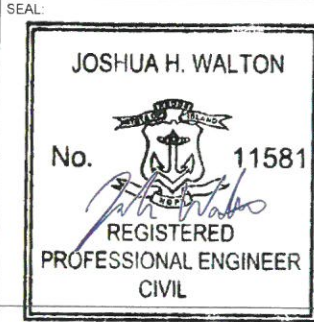
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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:
211903

ATC SITE NAME:
STRELO TOWN OF
NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896



Digitally Signed: 2024-10-23

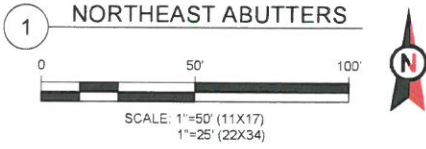
DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #	394106

NORTHWEST CORNER
ABUTTERS

SHEET NUMBER:	REVISION:
C-104	0



- LEGEND
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - EXISTING EASEMENT
 - EXISTING CHAINLINK FENCE
 - EXISTING TREE-LINE
 - EXISTING BUILDING
 - EXISTING ROAD (PAVED)
 - PROPOSED LEASE AREA
 - PROPOSED EASEMENT
 - 40' PROPERTY LINE SETBACK
 - PROPOSED ACCESS ROAD
 - PROPOSED FENCE



200 FOOT RADIUS ABUTTERS LIST			
LOT NUMBER	OWNER	STREET NUMBER/UNIT	PRESENT USE
421	LIDLAW TRANSIT INC FIRSTGROUP AMERICA INC	0 COMSTOCK RD	METAL FABRICATOR
466	WILDWOOD REALTY LLC	58 INDUSTRIAL DR	SCHOOL BUT PARKING LOT

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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:
211903

ATC SITE NAME:
**STRELO TOWN OF
NORTH SMITHFIELD**

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. 11581

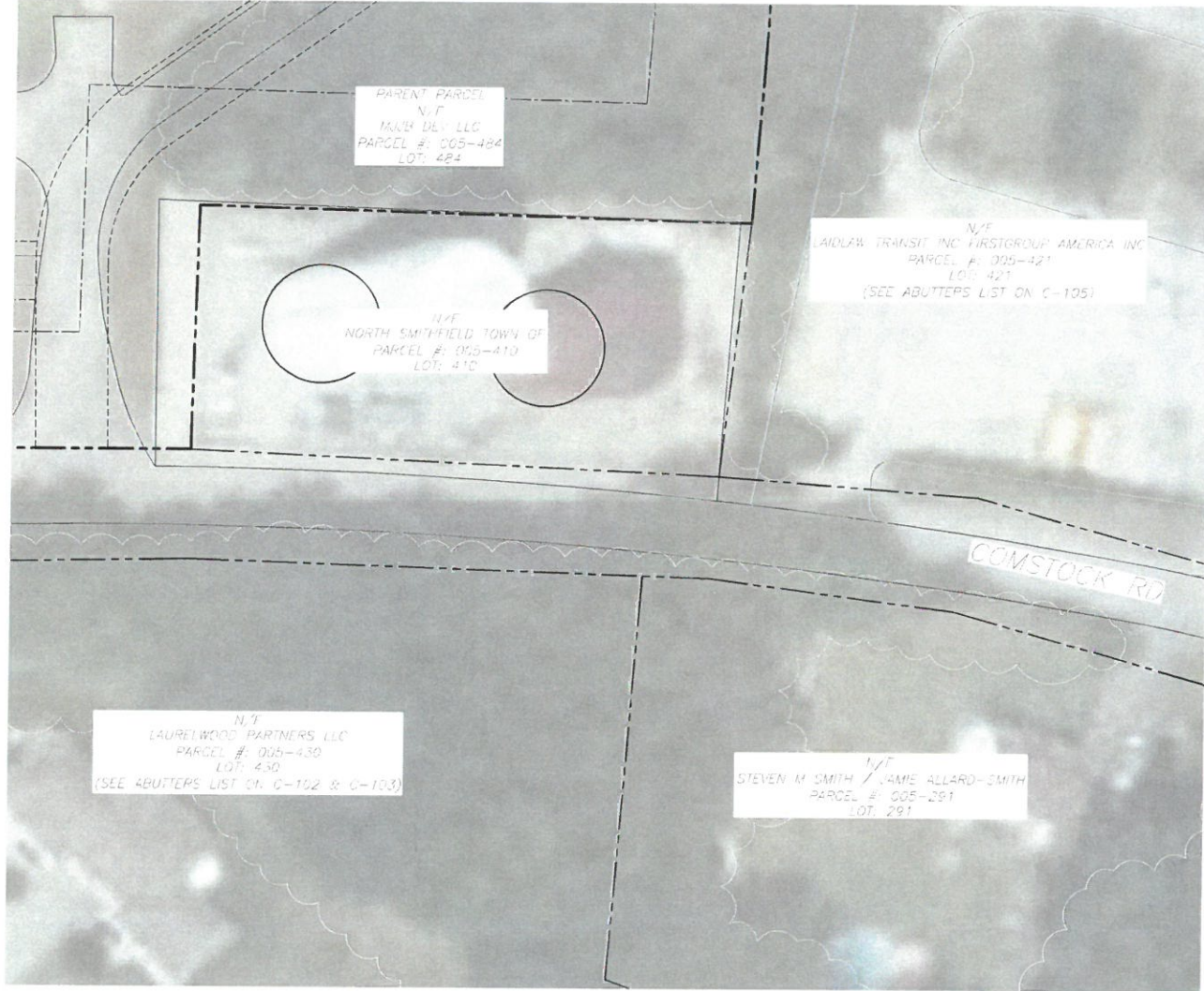
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Digitally Signed: 2024-10-23

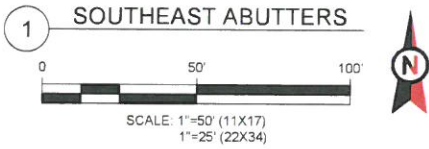
DATE DRAWN:	10/09/24
ATC JOB NO:	148767B2_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

**NORTHEAST CORNER
ABUTTERS**

SHEET NUMBER:	REVISION:
C-105	0



- LEGEND
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - EXISTING EASEMENT
 - EXISTING CHAINLINK FENCE
 - EXISTING TREE-LINE
 - EXISTING BUILDING
 - EXISTING ROAD (PAVED)
 - PROPOSED LEASE AREA
 - PROPOSED EASEMENT
 - 40' PROPERTY LINE SETBACK
 - PROPOSED ACCESS ROAD
 - PROPOSED FENCE



200 FOOT RADIUS ABUTTERS LIST			
LOT NUMBER	OWNER	STREET NUMBER/UNIT	PRESENT USE
291	SMITH STEVEN M & JAMIE ALLARD SMITH	47 COMSTOCK RD	RESIDENTIAL
410	N SMITHFIELD TOWN OF	40 COMSTOCK RD	WATER SUPPLY

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AMERICAN TOWERS, LLC
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PHONE: (919) 468-0112
COA: PE.0008090

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REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:
211903

ATC SITE NAME:
**STRELO TOWN OF
NORTH SMITHFIELD**

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. **11581**
**REGISTERED
PROFESSIONAL ENGINEER
CIVIL**

Digitally Signed: 2024-10-23

DATE DRAWN	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

**SOUTHEAST CORNER
ABUTTERS**

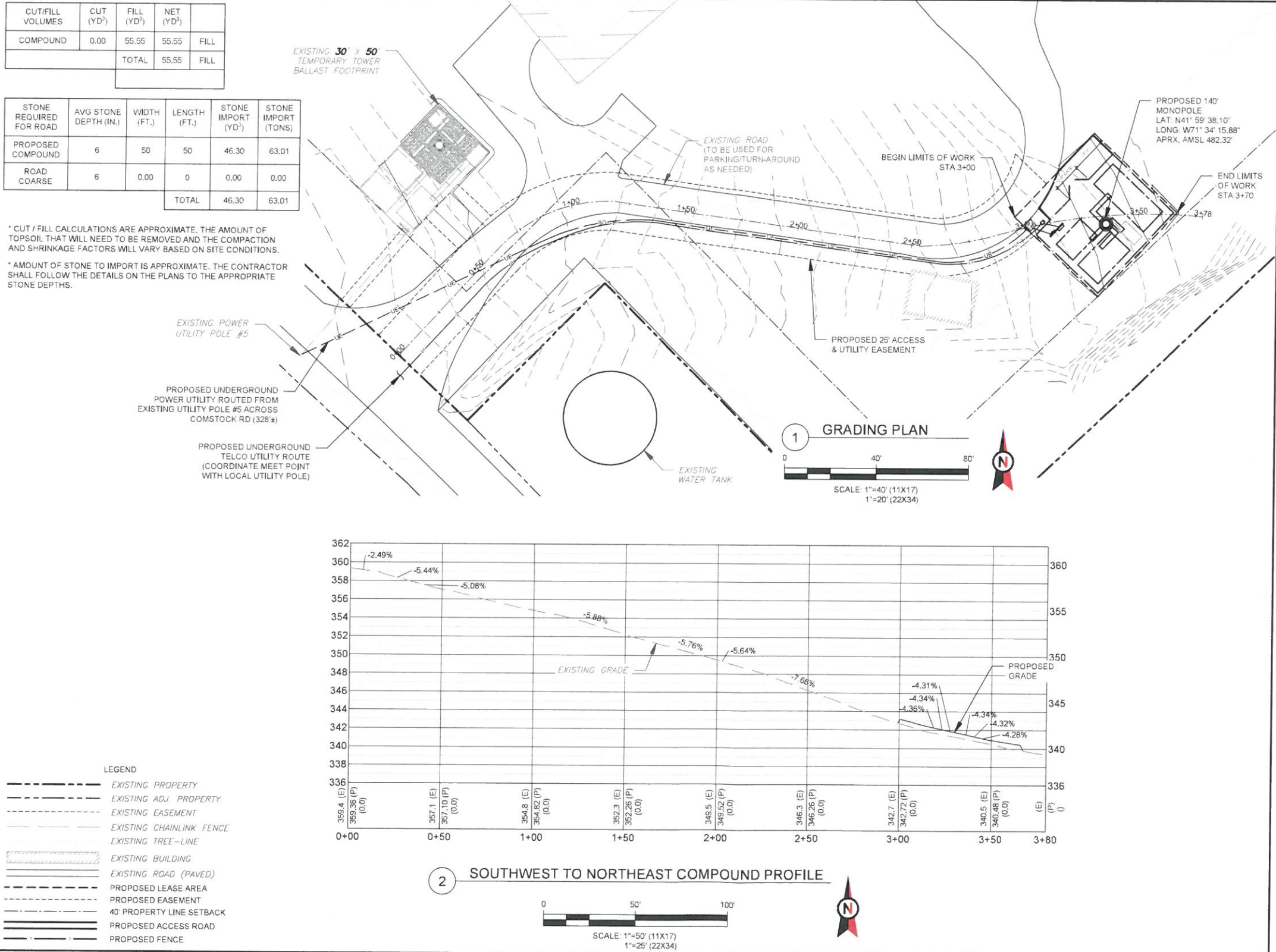
SHEET NUMBER	REVISION:
C-106	0

CUT/FILL VOLUMES	CUT (YD ³)	FILL (YD ³)	NET (YD ³)	
COMPOUND	0.00	55.55	55.55	FILL
		TOTAL	55.55	FILL

STONE REQUIRED FOR ROAD	AVG STONE DEPTH (IN.)	WIDTH (FT.)	LENGTH (FT.)	STONE IMPORT (YD ³)	STONE IMPORT (TONS)
PROPOSED COMPOUND	6	50	50	46.30	63.01
ROAD COARSE	6	0.00	0	0.00	0.00
			TOTAL	46.30	63.01

* CUT / FILL CALCULATIONS ARE APPROXIMATE. THE AMOUNT OF TOPSOIL THAT WILL NEED TO BE REMOVED AND THE COMPACTION AND SHRINKAGE FACTORS WILL VARY BASED ON SITE CONDITIONS.

* AMOUNT OF STONE TO IMPORT IS APPROXIMATE. THE CONTRACTOR SHALL FOLLOW THE DETAILS ON THE PLANS TO THE APPROPRIATE STONE DEPTHS.



AMERICAN TOWERS, LLC
1 FENTON MAIN STREET
SUITE 300
CARY, NC 27511
PHONE: (919) 468-0112
COA: PE.0008090

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NORTH SMITHFIELD, RI 02896

SEAL:
JOSHUA H. WALTON
No. **11581**
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Digitally Signed: 2024-10-23

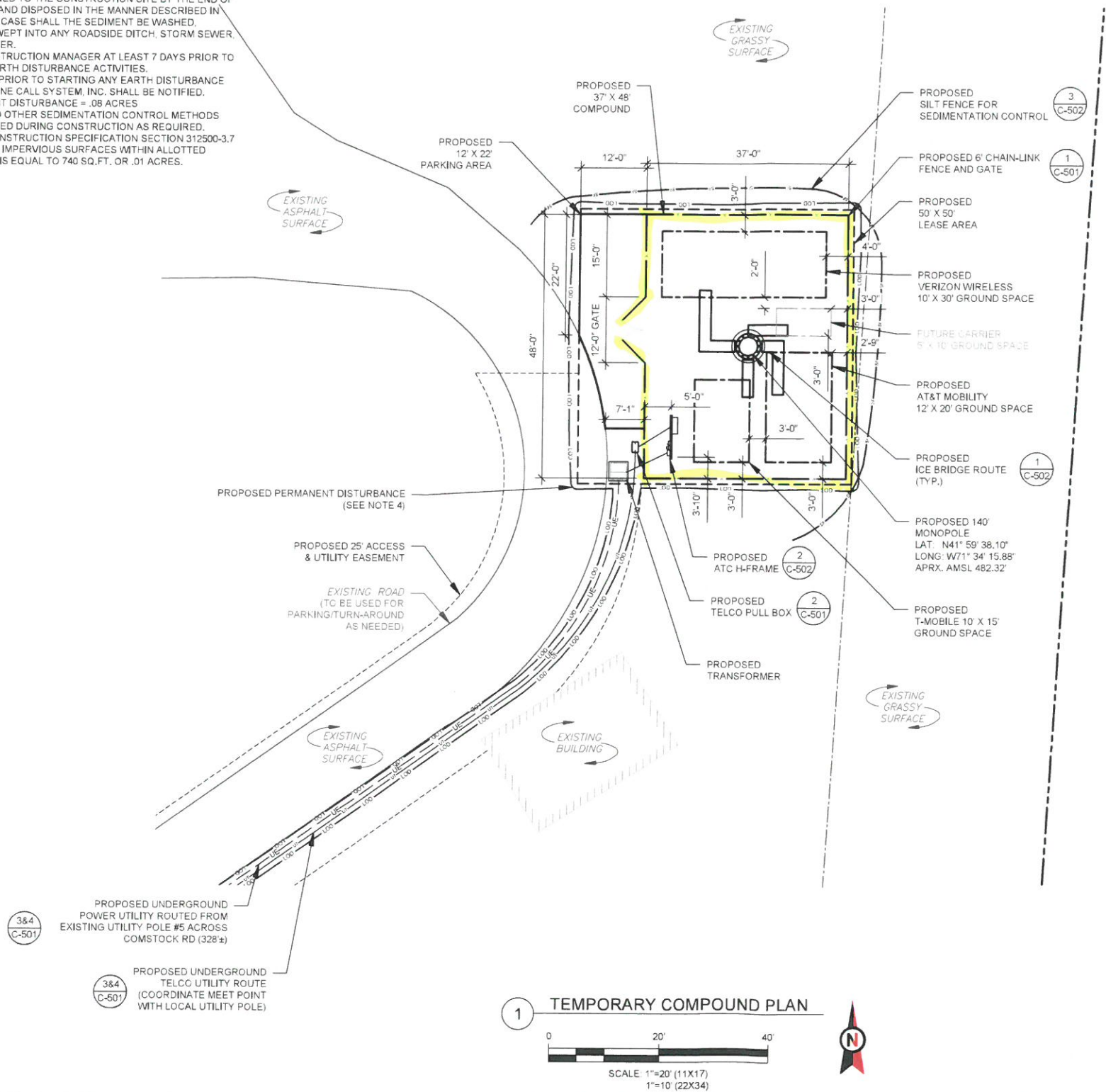
DATE DRAWN	10/09/24
ATC JOB NO.	14876782_D6
OPS JOB NO.	14182382
ATC LEGACY #	394106

GRADING PLAN & PROFILE

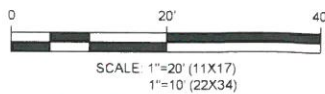
SHEET NUMBER
C-201
REVISION
0

CONSTRUCTION NOTES

1. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
2. NOTIFY ATC CONSTRUCTION MANAGER AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE ONE CALL SYSTEM, INC. SHALL BE NOTIFIED.
4. TOTAL PERMANENT DISTURBANCE = .08 ACRES
5. SILT FENCING AND OTHER SEDIMENTATION CONTROL METHODS TO BE IMPLEMENTED DURING CONSTRUCTION AS REQUIRED. REFER TO ATC CONSTRUCTION SPECIFICATION SECTION 312500-3.7
6. TOTAL POTENTIAL IMPERVIOUS SURFACES WITHIN ALLOTTED CARRIER SPACES IS EQUAL TO 740 SQ.FT. OR .01 ACRES.



1 TEMPORARY COMPOUND PLAN



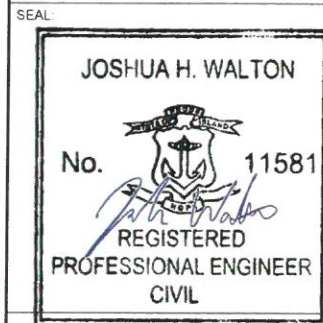
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5			

ATC SITE NUMBER:
211903

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STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

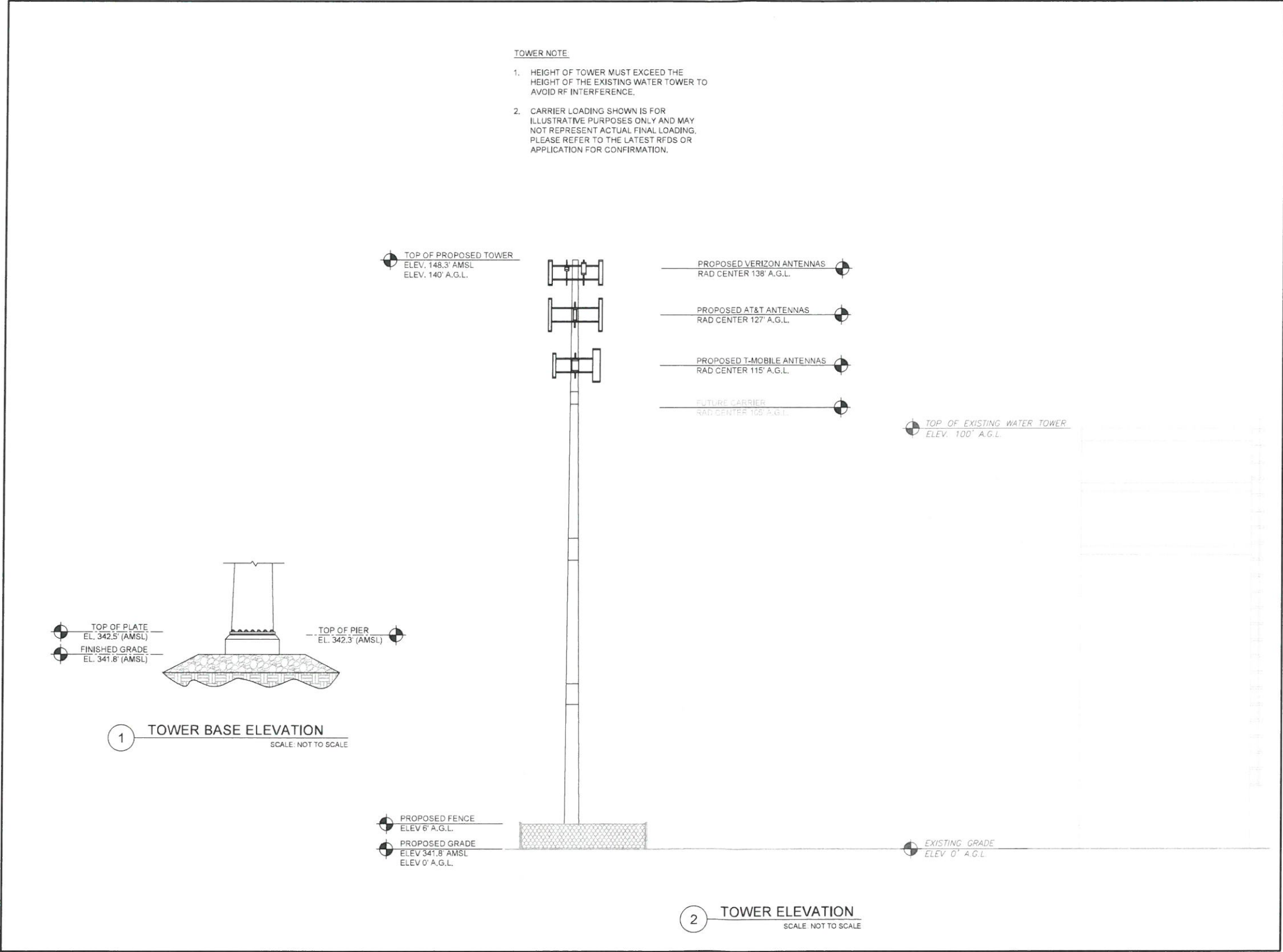



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DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

COMPOUND PLAN

SHEET NUMBER	REVISION
C-401	0





AMERICAN TOWER®
AMERICAN TOWERS, LLC
1 FENTON MAIN STREET
SUITE 300
CARY, NC 27511
PHONE: (919) 468-0112
COA: PE.0008090

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SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. **11581**

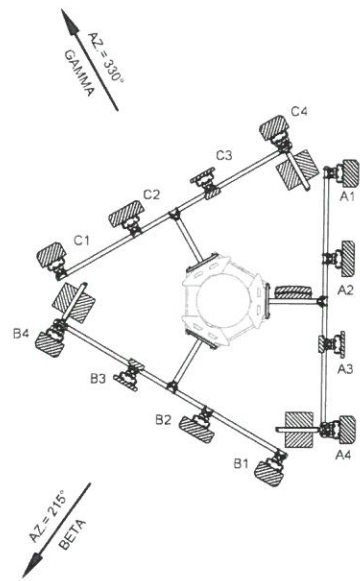
Joshua H. Walton

REGISTERED PROFESSIONAL ENGINEER CIVIL

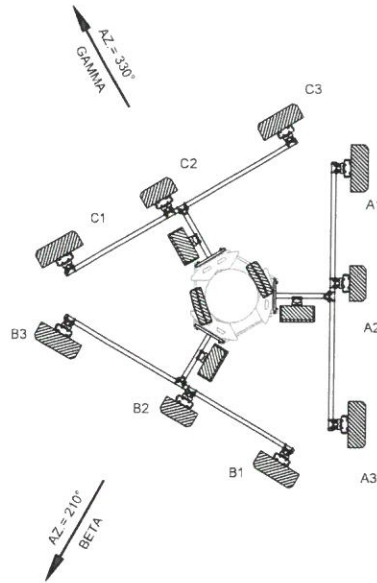
Digitally Signed: 2024-10-23

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ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #	394106

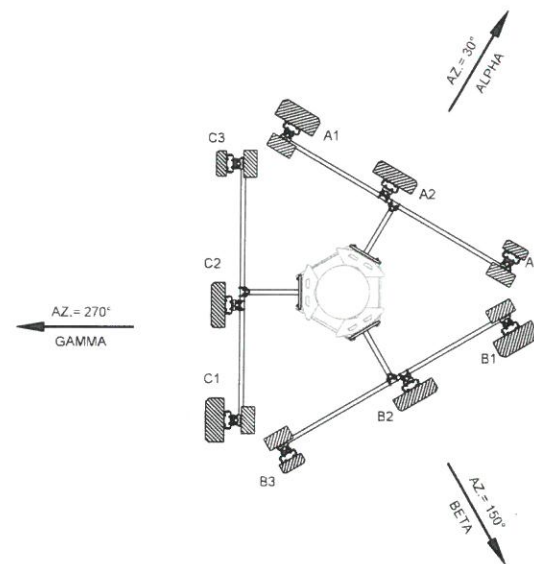
TOWER ELEVATION	
SHEET NUMBER	REVISION
C-402	0



AZ = 90°
ALPHA



AZ = 90°
ALPHA



AZ = 270°
GAMMA

1 VERIZON ANTENNA LAYOUT @ 138' RAD HEIGHT
SCALE: NOT TO SCALE

SECTOR	ANT.	PANEL MODEL #	RAD CENTER	AZIMUTH (TN)	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	A1	NHH-85B-R2B	138.8'	90°	-
ALPHA	A2	MT6413-77A	137'	90°	-
ALPHA	A3	R0440CC_3550Mhz	139.6	90°	RT4423-48A
ALPHA	A4	NHH-85B-R2B	138.8'	90°	B2/B66A RRH ORAN, RF4461D-13A
BETA	B1	NHH-85B-R2B	138.8'	215°	-
BETA	B2	MT6413-77A	137'	215°	-
BETA	B3	R0440CC_3550Mhz	139.6	215°	RT4423-48A
BETA	B4	NHH-85B-R2B	138.8'	215°	B2/B66A RRH ORAN, RF4461D-13A
GAMMA	C1	NHH-85B-R2B	138.8'	330°	-
GAMMA	C2	MT6413-77A	137'	330°	-
GAMMA	C3	R0440CC_3550Mhz	139.6	330°	RT4423-48A
GAMMA	C4	NHH-85B-R2B	138.8'	330°	B2/B66A RRH ORAN, RF4461D-13A

(1) RAYCAP 12 OVP
(2) 6 X12 HYBRIDFLEX CABLE

2 AT&T MOBILITY ANTENNA LAYOUT @ 127' RAD HEIGHT
SCALE: NOT TO SCALE

SECTOR	ANT.	PANEL MODEL #	RAD CENTER	AZIMUTH (TN)	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	A1	TPA65R-BU8D	127'	90°	RRUS 4490 RRUS 4478 B14 RADIO 4890HP 48BS/B25 48B66 M01
ALPHA	A2	AIR 6472 B77G B77M	127'	90°	
ALPHA	A3	OPA65R-BU8D	127'	90°	
BETA	B1	TPA65R-BU8D	127'	210°	RRUS 4490 RRUS 4478 B14 RADIO 4890HP 48BS/B25 48B66 M01
BETA	B2	AIR 6472 B77G B77M	127'	210°	
BETA	B3	OPA65R-BU8D	127'	210°	
GAMMA	C1	TPA65R-BU8D	127'	330°	RRUS 4490 RRUS 4478 B14 RADIO 4890HP 48BS/B25 48B66 M01
GAMMA	C2	AIR 6472 B77G B77M	127'	330°	
GAMMA	C3	OPA65R-BU8D	127'	330°	

(2) DC9-48-60-24-8C-EV RAYCAP
(2) 0.40" HYBRID CABLE
(6) 0.92" CONTROL CABLE

3 T-MOBILE ANTENNA LAYOUT @ 115' RAD HEIGHT
SCALE: NOT TO SCALE

SECTOR	ANT.	PANEL MODEL #	RAD CENTER	AZIMUTH (TN)	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	A1	APXVAALL24M-U-J20	115'	0°	Radio 4480 B71+B 85
ALPHA	A2	AIR 6419 B41	115'	0°	-
ALPHA	A3	APXVLL19P_43-C-A20	115'	0°	Radio 4460 B25+B66
BETA	B1	APXVAALL24M-U-J20	115'	150°	Radio 4480 B71+B 85
BETA	B2	AIR 6419 B41	115'	150°	-
BETA	B3	APXVLL19P_43-C-A20	115'	150°	Radio 4460 B25+B66
GAMMA	C1	APXVAALL24M-U-J20	115'	270°	Radio 4480 B71+B 85
GAMMA	C2	AIR 6419 B41	115'	270°	-
GAMMA	C3	APXVLL19P_43-C-A20	115'	270°	Radio 4460 B25+B66

(2) HYBRID TRUNK 6/24 4AWG 50M
(24) COAX JUMPERS



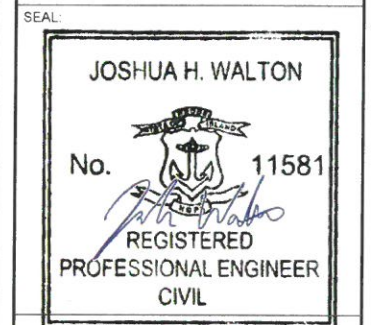
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ATC SITE NUMBER:
211903

ATC SITE NAME:
STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

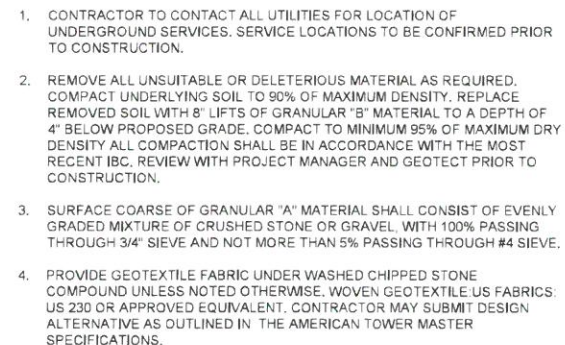
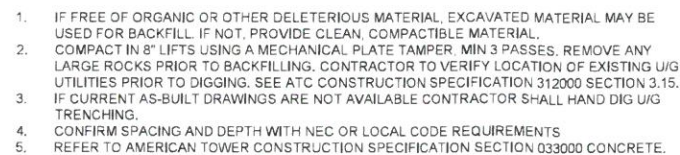
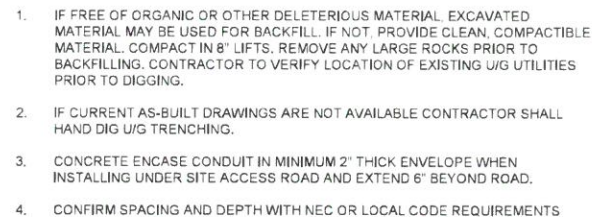
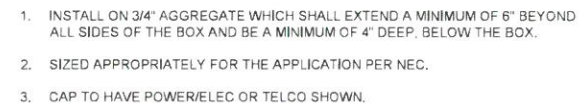


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DATE DRAWN	10/09/24
ATC JOB NO.	14876782_D6
OPS JOB NO.	14182382
ATC LEGACY #	394106

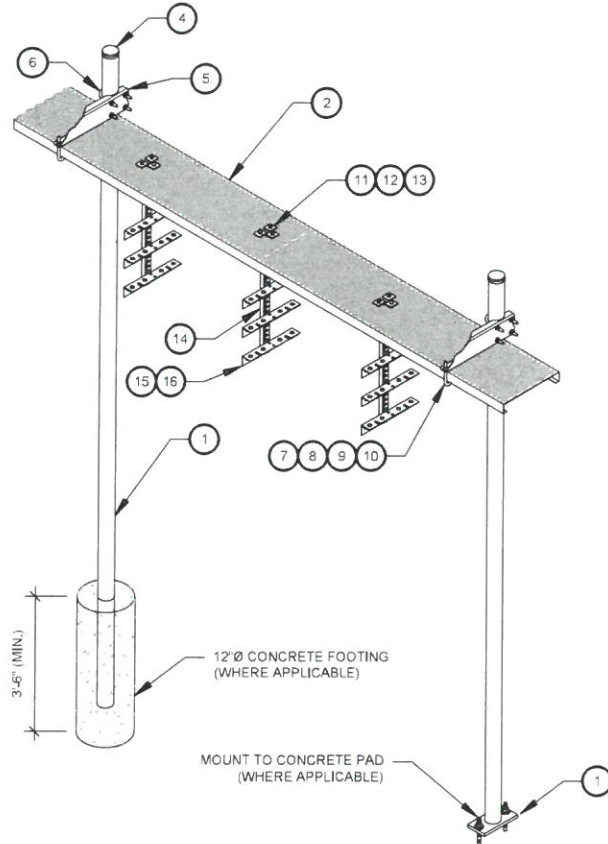
ANTENNA PLANS & SCHEDULES

SHEET NUMBER	REVISION
C-403	0



CONSTRUCTION NOTE:

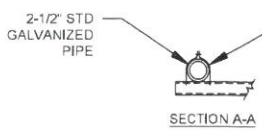
- WHERE POSSIBLE AND AS APPLICABLE, THE CONTRACTOR SHALL UTILIZE EXISTING ICE BRIDGE, CABLE LADDER, COAX SUPPORTS, AND COAX PORTS. BEFORE UTILIZING, CONTRACTOR SHALL VERIFY THAT ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW ICE BRIDGE, CABLE LADDER, COAX SUPPORT, AND COAX PORT, AS REQUIRED, WITH THE ATC CONSTRUCTION MANAGER.
- INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.



WB-K210-B WAVEGUIDE BRIDGE KIT - BILL OF MATERIALS (INCLUDED WITH KIT UNLESS NOTED OTHERWISE)					
ITEM	PART NUMBER	DESCRIPTION	ITEM	PART NUMBER	DESCRIPTION
1	MF126.01 MF-130	10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN	9	GWL-04	1/2" GALV LOCK WASHER
2	WB-CY210	SAFETY GRATING 24" X 10'	10	GN-04	1/2" GALV HEX NUT
3	WBK110BHK	HARDWARE KIT (ITEMS 4-16)	11	GB-03205	3/8" X 2" GALV BOLT KIT
4	PC-034	PIPE CAP 3-1/2"	12	MT-387	SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE
5	WBLB243.08	24" WAVEGUIDE BRIDGE SUPPORT BRACKET	13	GWFF-03	3/8" GALV FLAT WASHER
6	GUB-4356	1/2" X 3-5/8" X 6" GALV U-BOLT	14	WBT243.01	VERTICAL TRAPEZE SECTION
7	WB-JB-6	1/2" J-BOLT	15	GB-03105	3/8" X 1" GALV BOLT KIT
8	GWFF-04	1/2" GALV FLAT WASHER	16	WBT243.02	HORIZONTAL TRAPEZE SECTION

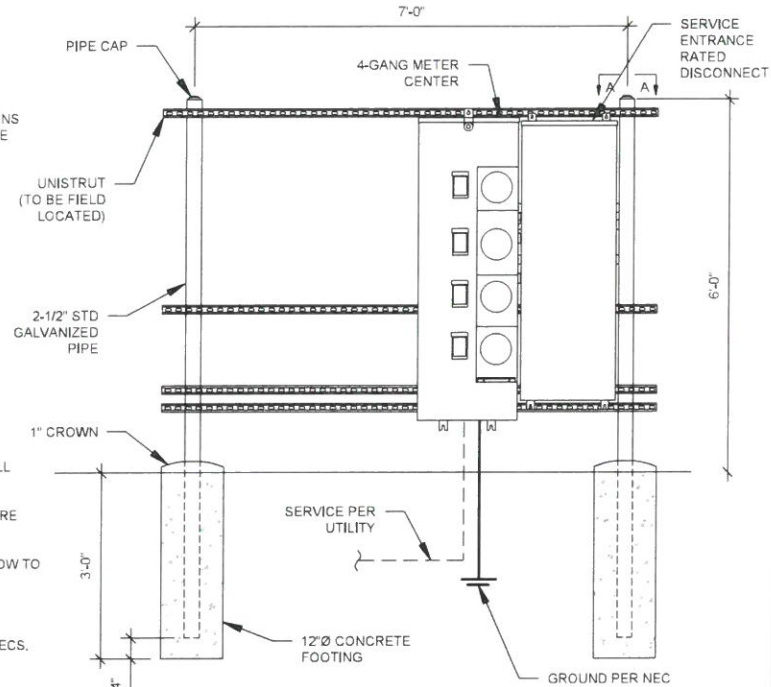
CONTRACTOR SHALL USE PARTS MANUFACTURED BY COMMScope OR APPROVED EQUIVALENT.
*BASE SHOE NOT INCLUDED IN WB-K210-B KIT, ORDER COLUMN SEPARATELY OR KIT WB-K210-S.

1 24" WAVEGUIDE BRIDGE KIT
SCALE: NOT TO SCALE

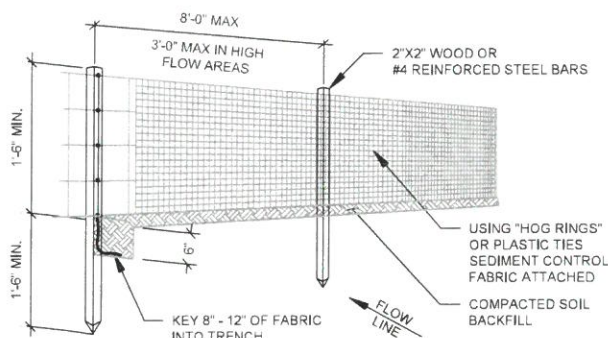


H-FRAME NOTES:

- IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST WILL ALWAYS BE REQUIRED.
- PROPOSED UNISTRUTS TO BE FIELD CUT AND SHOULD NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
- SPRAY ENDS OF UNISTRUT WITH COLD GALVANIZING SPRAY PAINT, ALLOW TO DRY, THEN COVER WITH RUBBER PROTECTIVE CAPS FOR SAFETY.
- UNISTRUT TO BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
- ALL PROPOSED HARDWARE TO BE MOUNTED PER MANUFACTURERS SPECS.
- METER CENTER TO FOLLOW HEIGHT REQUIREMENTS PER UTILITY.



2 UTILITY H-FRAME
SCALE: N.T.S.



NOTES:

- FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL STAKES.
- SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED.
- FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

AMERICAN TOWER CONSTRUCTION SPECIFICATION

- DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS

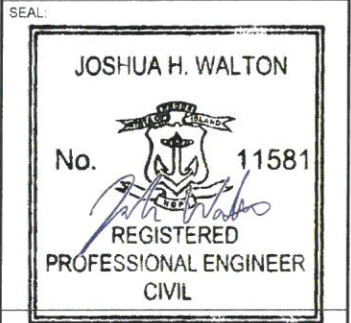
3 SILT FENCE DETAIL
SCALE: NOT TO SCALE



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211903
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STRELO TOWN OF
NORTH SMITHFIELD
SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896



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OPS JOB NO.	14182382
ATC LEGACY #	394106

CONSTRUCTION
DETAILS

SHEET NUMBER	REVISION:
C-502	0



Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.

For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

NO TRESPASSING

ATC CAUTION AND NO TRESPASSING SIGN



Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.

For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

ATC RF WARNING AND FCC NUMBER SIGN

FCC TOWER REGISTRATION #

NOT REQUIRED

Posting of sign required by law

ATC STAND-ALONE FCC TOWER
REGISTRATION SIGN

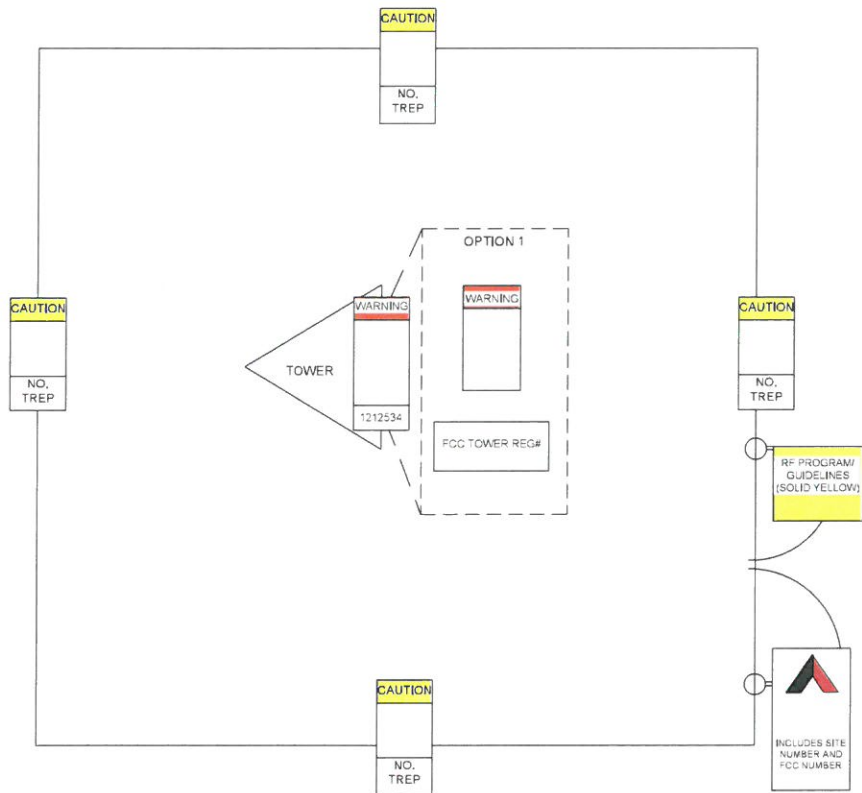
NOTICE

GUIDELINES FOR WORKING IN
RADIOFREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME)
awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate
transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.



THERE MUST BE AN ATC SIGN WITH SITE
INFORMATION AND FCC REGISTRATION
NUMBER AT BOTH THE ACCESS ROAD GATE
(GATE OFF OF MAIN ROAD, IF APPLICABLE)
AND COMPOUND FENCE (IF NO COMPOUND
FENCE, THEN IN A CONSPICUOUS PLACE
UPON DRIVE UP). IN ADDITION, PLEASE LOOK
AT DIAGRAM FOR ALL ADDITIONAL SIGNS
REQUIRED.

OPTION 1 MAY BE USED TO POST TOWER
REGISTRATION NUMBERS AT THE BASE OF
THE TOWER IF A WARNING SIGN DOES NOT
HAVE SPACE FOR THE TOWER REGISTRATION
NUMBER.

IMPORTANT: FOR ANY ATC SIGN THAT DOES
NOT MEET THE ATC SPECIFICATION FOR
SIGNAGE (I.E., SHARPIE/PAINT PEN, WORN
LABELS, ETC.), BRING IT INTO COMPLIANCE
(RE-WRITE IF WORN) AND FLAG FOR
REPLACEMENT ASAP WITH THE APPROPRIATE
PERMANENT SIGN (YOU CAN ORDER THESE
THROUGH THE WAREHOUSE).

ONLY LABELS PRINTED BY A ZEBRA LABEL
PRINTER WILL BE ACCEPTED.

SITE NAME : STRELO TOWN OF

SITE NUMBER : 211903

FCC REGISTRATION # : NOT REQUIRED

FOR LEASING INFORMATION: 877-282-7483

FOR EMERGENCIES CALL: 877-518-6937

877-ATC-SITE 877-51-TOWER

NO TRESPASSING

www.americantower.com

POSTING OF THIS SIGNAGE REQUIRED BY LAW

ATC SITE SIGN

REPLACEMENT OF SIGNAGE

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT
SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY
ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS
UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC
SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL
FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS
REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON
NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE
MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE
FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE
COMPLIANT WITH STATUTE 164.43.4 NO HIGH-VOLTAGE SIGNAGE IS
NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.

AMERICAN TOWER®
AMERICAN TOWERS, LLC
1 FENTON MAIN STREET
SUITE 300
CARY, NC 27511
PHONE: (919) 468-0112
COA: PE.0008090

THESE DRAWINGS AND/OR THE ACCOMPANYING
SPECIFICATION, AS INSTRUMENTS OR SERVICE ARE THE
EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND
PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE
FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR
THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO
THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF
AMERICAN TOWER WHETHER OR NOT THE PROJECT IS
EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL
BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS
PROJECT. CONTRACTORS MUST VERIFY ALL DIMENSIONS AND
ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR
ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST
VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	EB	10/09/24
2			
3			
4			

ATC SITE NUMBER:
211903

ATC SITE NAME:
STRELO TOWN OF
NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

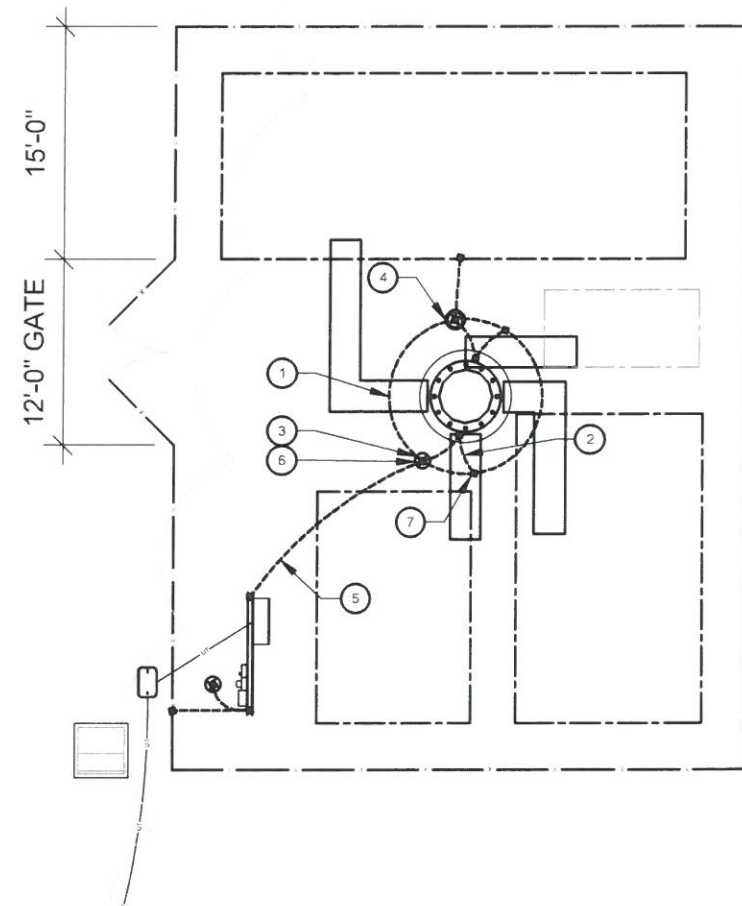
SEAL:

Digitally Signed: 2024-10-23

DATE DRAWN	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

SIGNAGE

SHEET NUMBER	REVISION
C-503	0



1 GROUNDING PLAN

0 10' 20'

SCALE: 1"=10' (11X17)
1"=5' (22X34)

GROUNDING PLAN NOTES:

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. ALL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL WIRES SHALL BE COPPER.
3. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY OWNER REPRESENTATIVE.
4. REFER TO ATC CONSTRUCTION SPEC AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
5. ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CONNECTIONS AND GROUND RING.
6. NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
7. GROUND RODS MAY BE INSTALLED AT AN ANGLE OR GROUNDING RADIAL MAY BE EXTENDED AS NEEDED.

KEYED NOTES:

- 1 #2 AWG SBTC TOWER GROUND RING. (MIN 2 FT FROM FOUNDATION)
- 2 #2 AWG SBTC TOWER RING RADIALS. GROUNDING RADIAL (TYP.) SEE TRENCH DETAIL 4 ON SHEET E-501. MAINTAIN DEPTH AND MINIMUM 15 FT. SEPARATION FROM OTHER RADIALS AT ENDS AND MINIMUM 5 FT. SEPARATION AT GROUNDING SYSTEMS AND BUILDING FOUNDATIONS.
- 3 3/40" X 10 FT GROUND ROD (TYP.). SEE DETAIL 2 ON SHEET E-501
- 4 3/40" X 10 FT GROUND ROD WITH TEST WELL (MIN. ONE PER SITE ON TOWER GROUND RING). SEE DETAIL 5 ON SHEET E-501.
- 5 BOND TO ELECTRICAL SERVICE AT MAIN BONDING JUMPER WITH #2 AWG SBTC. PARALLEL CONNECTION AWAY FROM TOWER. SEE DETAIL 1 ON SHEET E-501.
- 6 SERVICE GROUND ROD SIZE MINIMUM PER NEC OR AS OTHERWISE INDICATED. PLACE MINIMUM OF 10' FROM ALL OTHER GROUND RODS.
- 7 TOWER TO GROUND RING BONDS. SEE DETAIL 3 ON SHEET E-501.

INSTALLATION NOTES:

1. INSTALL DESIGN WHICH INCLUDES:
 - 1.1. 1 GROUND ROD PER BALLAST CORNER. SERVICE GROUND ROD AT H-FRAME, RADIALS TO H-FRAME. ADDITIONAL WORK NECESSARY BELOW SHALL BE CONSIDERED AN ALLOWANCE.
2. MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST PRIOR TO BACKFILL/DEMOLITION AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
3. IF GROUNDING SYSTEM RESISTANCE IS GREATER THAN 10 OHMS COORDINATE WITH ATC ENGINEER OF RECORD.

GROUNDING PLAN LEGEND:

-----	GROUND WIRE	⊗	COPPER GROUND ROD
■	EXOTHERMIC WELD	⊗	TEST WELL
●	MECHANICAL WELD		



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0	FOR CONSTRUCTION	EB	10/09/24

ATC SITE NUMBER:

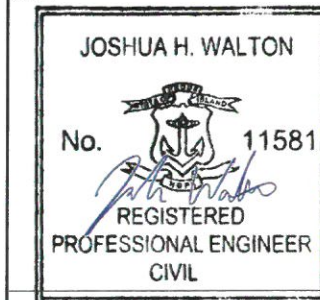
211903

ATC SITE NAME:

STRELO TOWN OF
NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

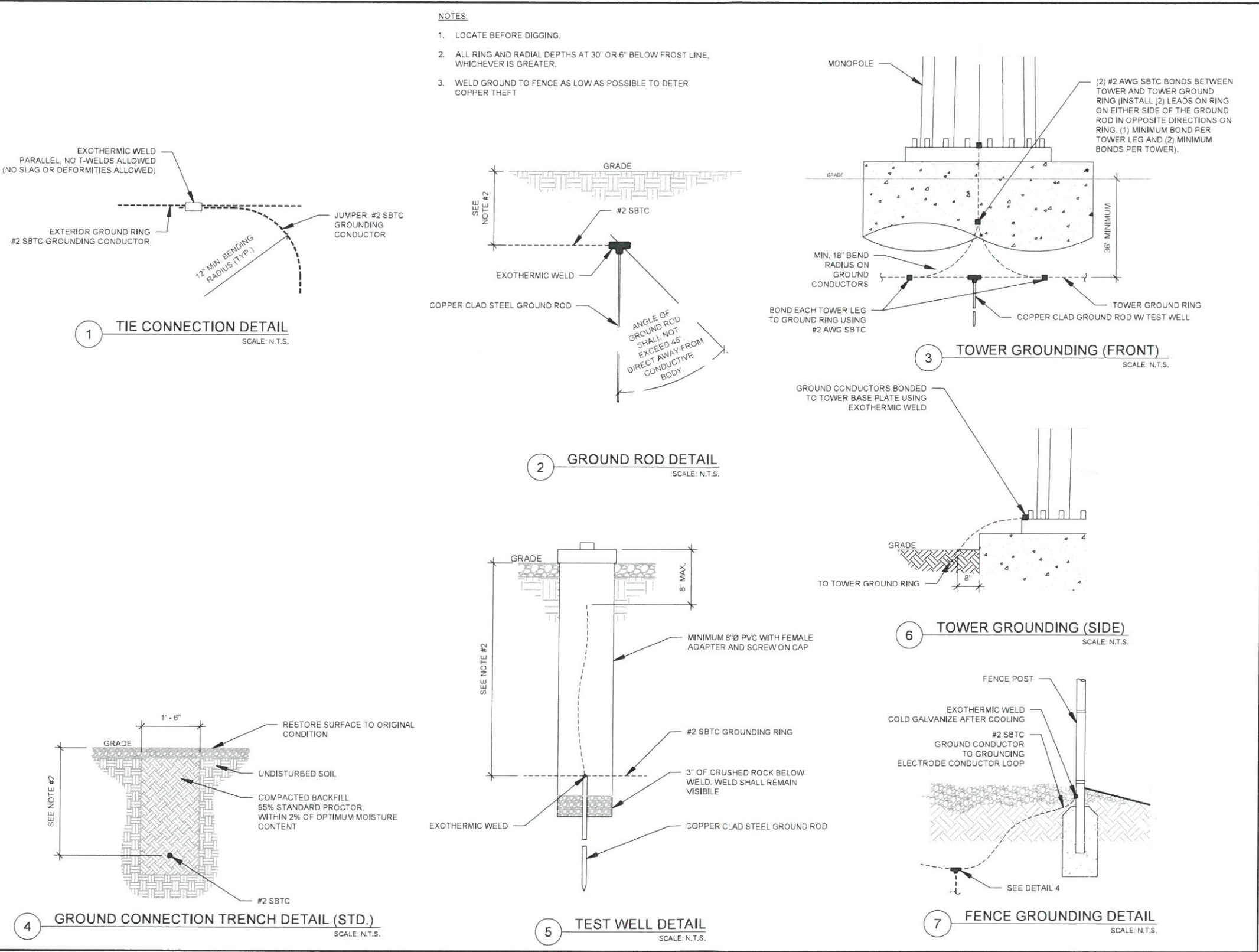
SEAL:




DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

GROUNDING LAYOUT

SHEET NUMBER	REVISION:
E-401	0





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ATC SITE NAME:
STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:
51 INDUSTRIAL DR
NORTH SMITHFIELD, RI 02896

SEAL:

JOSHUA H. WALTON

No. **11581**

REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Digitally Signed: 2024-10-23

DATE DRAWN:	10/09/24
ATC JOB NO:	14876782_D6
OPS JOB NO:	14182382
ATC LEGACY #:	394106

ELECTRICAL DETAILS

SHEET NUMBER:	REVISION:
E-501	0

CAP EX INSPECTION NOTES

THE SPECIAL INSPECTION (SI) PROCEDURE IS INTENDED TO CONFIRM THAT CONSTRUCTION AND INSTALLATION MEETS ENGINEERING DESIGN, ATC PROCEDURES AND ATC STANDARD SPECIFICATIONS FOR WIRELESS TOWER SITES.

TO ENSURE THAT THE REQUIREMENTS OF THE SI ARE MET, IT IS VITAL THAT THE GENERAL CONTRACTOR AND THE INSPECTOR BEGIN COMMUNICATING AND COORDINATING AS SOON AS A PO IS RECEIVED FROM AMERICAN TOWER CORPORATION (ATC). IT IS EXPECTED THAT EACH PARTY WILL PROACTIVELY REACH OUT TO THE OTHER PARTY. IF CONTACT INFORMATION IS NOT KNOWN, CONTACT YOUR AMERICAN TOWER POINT OF CONTACT.

SPECIAL INSPECTOR

THE SPECIAL INSPECTOR IS REQUIRED TO CONTACT THE GENERAL CONTRACTOR AS SOON AS RECEIVING A PO FROM ATC. UPON RECEIVING A PO FROM ATC THE SPECIAL INSPECTOR AT A MINIMUM MUST:

REVIEW THE REQUIREMENTS OF THE SI CHECKLIST.

WORK WITH THE GENERAL CONTRACTOR TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE INSPECTIONS INCLUDING FOUNDATION INSPECTIONS.

ANY CONCERNS WITH THE SCOPE OF WORK OR PROJECT COMMITMENT MUST BE RELAYED TO THE ATC POINT OF CONTACT IMMEDIATELY.

THE SPECIAL INSPECTOR IS RESPONSIBLE FOR COLLECTING ALL GENERAL CONTRACTOR INSPECTION AND TEST REPORTS, REVIEWING THESE DOCUMENTS FOR ADHERENCE TO CONTRACT DOCUMENTS, CONDUCTING THE IN-FIELD INSPECTIONS, AND SUBMITTING THE SI REPORT TO AMERICAN TOWER CORPORATION.

GENERAL CONTRACTOR

THE GENERAL CONTRACTOR IS REQUIRED TO CONTACT THE SI INSPECTOR AS SOON AS RECEIVING A PO FOR THE MODIFICATION INSTALLATION OR TURNKEY PROJECT TO, AT A MINIMUM:

REVIEW THE REQUIREMENTS OF THE SI CHECKLIST.

WORK WITH THE SI TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE INSPECTIONS, INCLUDING FOUNDATION INSPECTIONS.

BETTER UNDERSTAND ALL INSPECTION AND TESTING REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL PERFORM AND RECORD THE TEST AND INSPECTION RESULTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE SI CHECKLIST.

CAP EX SPECIAL INSPECTION CHECKLIST

INSPECTION ITEM	DESCRIPTION	INSPECTION TESTING REQUIRED	RESPONSIBILITY	SI REVIEW REQUIRED			INSPECTION FREQUENCY	
				PRE CX	DURING CX	POST CX	PERIODIC	CONTINUOUS
SPECIAL INSPECTION FIELD WORK & REPORT	DOCUMENTATION AND SITE VISIT CONDUCTED BY AN ATC APPROVED SPECIAL INSPECTOR AS REQUIRED BY ATC AND OTHER AUTHORITIES HAVING JURISDICTION. INSPECTION PARAMETERS TO FOLLOW ATC'S CONSTRUCTION SPECIFICATIONS FOR WIRELESS TOWER SITES.	Y	SI			✓		
ENGINEERING ASSEMBLY DRAWINGS	GC SHALL SUBMIT DRAWINGS TO SI FOR INCLUSION IN SI REPORT	Y	GC	✓				
FABRICATED MATERIAL VERIFICATION & INSPECTION	MTR AND OR MILL CERTIFICATIONS FOR SUPPLIED MATERIALS GC SHALL SUPPLY SI WITH REPORTS TO BE INCLUDED IN SI REPORT WHEN REQUIRED BY ATC	Y	SI	✓				
ROAD INSPECTION	STONE SHOULD HAVE A MINIMUM DEPTH OF 6". ENTRANCE SHALL HAVE A MINIMUM WIDTH OF 20' FOR A MINIMUM LENGTH OF 30' AND A 30' RADIUS. IF POSSIBLE, TRAVEL LANE SHALL HAVE A MIN. WIDTH OF 12' IN THE TANGENTS AND 15' AT THE CURVES. ROAD HAS NO SIGNS OF RILLS AND EROSION. ROAD IS PROPERLY CROWNED OR SUPER-ELEVATED. ALL DIMENSIONS AND DEPTHS SHALL BE PER THE PLANS OR ABOVE UNLESS OTHERWISE SPECIFIED.	N	GC / SI					
DITCH INSPECTION	A DITCH SHOULD BE INSTALLED PER THE APPROVED PLANS. INSPECT EROSION PROBLEMS, DAMAGE TO VEGETATION, SEDIMENT AND DEBRIS ACCUMULATION (ADDRESS WHEN >3 INCHES AT ANY SPOT OR COVERING VEGETATION). INSPECT FOR POOLS OF STANDING WATER. IF REQUIRED, DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE GRADE TO PROVIDE POSITIVE DRAINAGE. VEGETATION ALONG THE SURFACE OF THE DITCH SHOULD BE KEPT IN GOOD CONDITION, AND ANY BARE SPOTS IMMEDIATELY RE-VEGETATED. IF THE DITCH IS RIP-RAP VERIFY IF ADDITIONAL RIP-RAP NEEDS TO BE INSTALLED. THE CHANNEL SHOULD BE CLEANED WHENEVER THE TOTAL DEPTH IS REDUCED BY 25% AT ANY LOCATION OR A MINIMUM 9" DEPTH IS NOT ACHIEVED.	N	SI					
CHECK DAM INSPECTION	INSPECT AND CORRECT CHECK DAMS WHEN SIGNS OF ALTERED WATER FLOW (CHANNELIZATION, OBSTRUCTIONS, EROSION ETC.) ARE IDENTIFIED. CHECK DAMS SHOULD BE HALF OF THE DITCH HEIGHT. A CHECK DAM SHALL BE INSTALLED AT THE CULVERT TO PREVENT BYPASS FLOW.	N	SI					
WATER BAR INSPECTION	IS THE WATER BAR FUNCTIONING PROPERLY AND PREVENT WATER FROM TRAVELING DOWN THE ROADWAY IN STEEP SLOPES OR AT CURVES. SHOULD BE CONSTRUCTED AND MAINTAINED AT A CROSS SLOPE OF 2% AND DISCHARGE TO A DITCH OR WELL VEGETATED AREA.	N	SI					
TURN-OUT INSPECTION	IS THE TURNOUT LOCATED TO TAKE ADVANTAGE OF NATURAL DRAINAGE COURSES OR BUFFER AREAS WHERE POSSIBLE? INSPECT AND VERIFY IF THE TURNOUTS ARE FUNCTIONING PROPERLY AND IF EARTHEN BERMS OR RIP-RAP IS NECESSARY TO MAINTAIN THE DRAINAGE PATTERN.	N	SI					
CULVERT INSPECTION	INSTALLED THE CORRECT SIZE AND MATERIAL TYPE AND AT THE PROPER LOCATIONS WITH A MINIMUM OF 1' COVER. CULVERTS SHOULD BE KEPT CLEAN AND ENSURE WATER FLOW. UNLESS AT A LOW POINT ALL A DOWNSTREAM EARTHEN OR STONE BERM SHALL BE INSTALLED AT THE CULVERT TO PREVENT BYPASS FLOW.	N	SI					
OUTLET PROTECTION INSPECTION	SHALL BE INSTALLED ON LEVEL GRADE TO PREVENT SCOUR AND EROSION AT PIPE OR CHANNEL OUTFALL. DISPLACED RIP-RAP SHALL BE REPLACED. DEPTH SHALL BE 1.5 TIMES THE STONE SIZE OR MIN OF 9". A MINIMUM LENGTH OF 8' IS REQUIRED. MIN STONE SIZE: AASHTO R-3 RIP RAP (3'-6" CLEAN STONE).	N	SI					
BASIN INSPECTION	UP GRADIENT CULVERTS, CATCH BASINS AND INLETS OF BASIN SHOULD BE INSPECTED AND CLEANED. VEGETATION ALONG THE SURFACE OF THE BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE. INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS AND PONDING OF WATER GREATER THAN 72 HOURS SINCE THE LAST RUNOFF EVENT.	N	SI					
SILT FENCE INSPECTION	ALL SILT FENCE AND STAKES SHOULD BE REMOVED BY THE CONTRACTOR AFTER THE SITES HAS ACHIEVED STABILIZATION. NO LONG TERM MAINTENANCE IS REQUIRED.	Y	SI			✓	✓	
SEEDING INSPECTION	SITES SHOULD OBTAIN AND MAINTAIN AT LEAST 70% STABILIZATION. STONE IS CONSIDERED STABILIZED.	Y	SI			✓	✓	
COMPACTION VERIFICATION	CONTRACTOR SHALL PROVIDE AN INDEPENDENT THIRD PARTY CERTIFIED INSPECTION WHICH PROVIDES TEST RESULTS FOR COMPACTION TEST OF SOILS IN PLACE TO ASTM STANDARDS.	Y	GC / TA			✓		
COMPOUND INSPECTION	THE COMPOUND SHALL HAVE A MAXIMUM GRADE OF 5% AND A MINIMUM OF 1% IN ANY DIRECTION. A 1' MINIMUM GRAVEL APRON AROUND THE COMPOUND WITH A DITCH INSTALLED PER THE PLANS SURROUNDING THE UP GRADIENT PERIMETER OF THE COMPOUND. THE DITCH SHALL FREELY GRAVITY DRAIN TO AN APPROPRIATE LOCATION WITH NO IMPACT TO DOWN GRADIENT FEATURES SUCH AS THE ACCESS ROAD OR OTHER STRUCTURES.	Y	GC / TA			✓	✓	
SLOPE STABILITY INSPECTION	EROSION CONTROL BLANKETS SHALL BE USED ON ALL SLOPES GREATER THAN 2H:1V OR STEEPER OR AS DIRECTED BY LOCAL REGULATING AGENCIES, AND WHERE POTENTIAL EXISTS FOR SEDIMENT POLLUTION TO RECEIVING SURFACE WATERS. SINCE ROCK SLOPES POSE LITTLE, IF ANY, POTENTIAL FOR EROSION, CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILL SLOPES DO NOT NEED TO BE BLANKETED.	Y	SI			✓	✓	
POWER AND GROUNDING	POWER PANELS, DISCONNECTS, ATS, TROUGH, H-FRAME, CONDUIT AND GROUNDING SYSTEMS ARE IN CONFORMANCE WITH THE DESIGN DRAWINGS	Y	SI			✓	✓	
GC AS-BUILT DRAWINGS WITH CONSTRUCTION RED-LINES	GC SHALL SUBMIT "AS-BUILT" DRAWINGS INDICATING ANY APPROVED CHANGES TO ENGINEERED PLANS TO SI FOR APPROVAL/REVIEW AND INCLUSION IN SI REPORT	Y	GC			✓		
SI AS-BUILT DRAWINGS WITH INSPECTION RED-LINES (AS REQUIRED)	SI SHALL SUBMIT "AS-BUILT" DRAWINGS INDICATING ANY APPROVED CHANGES TO ENGINEERED PLANS WITHIN SI REPORT	Y	SI			✓		
PHOTOGRAPHS	PHOTOGRAPHIC EVIDENCE OF SPECIAL INSPECTION, ON SITE REMEDIATION, AND ITEMS FAILING INSPECTION & REQUIRING FOLLOW UP TO BE INCLUDED WITHIN THE SI REPORT. COMPLETE PHOTO LOG IS TO BE SUBMITTED WITHIN SI REPORT.	Y	GC / SI			✓		


NOTE:
1. SPECIAL INSPECTIONS ARE INTENDED TO BE A COLLABORATIVE EFFORT BETWEEN GC AND SI. WHENEVER POSSIBLE GC IS TO PROVIDE SI WITH PHOTOGRAPHIC OR OTHER ACCEPTABLE EVIDENCE OF PROPER INSTALLATION IF PERIODIC INSPECTION FREQUENCY IS ACCEPTABLE. THE GC AND SI SHALL WORK TO COMPILE EVIDENCE OF PROPER CONSTRUCTION AND LIMIT THE NUMBER OF SI SITE VISITS REQUIRED.
2. GC TO REFERENCE TOWER AND FOUNDATION DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS.

TABLE KEY:
SI - ATC APPROVED SPECIAL INSPECTOR
GC - GENERAL CONTRACTOR

CX - CONSTRUCTION
CM - CONSTRUCTION MANAGER

TA - 3RD PARTY TESTING AGENCY
ATC - AMERICAN TOWER CORPORATION

COMMENTS:



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AMERICAN TOWERS, LLC

1 FENTON MAIN STREET

SUITE 300

CARY, NC 27511

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211903

ATC SITE NAME:

STRELO TOWN OF NORTH SMITHFIELD

SITE ADDRESS:

51 INDUSTRIAL DR

NORTH SMITHFIELD, RI 02895

SEAL:

JOSHUA H. WALTON

No. 11581

REGISTERED PROFESSIONAL ENGINEER CIVIL

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SPECIAL INSPECTIONS WORKSHEET

SHEET NUMBER:

R-601

REVISION:

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