

HOLLISTON SAND LAND DEVELOPMENT PLAN

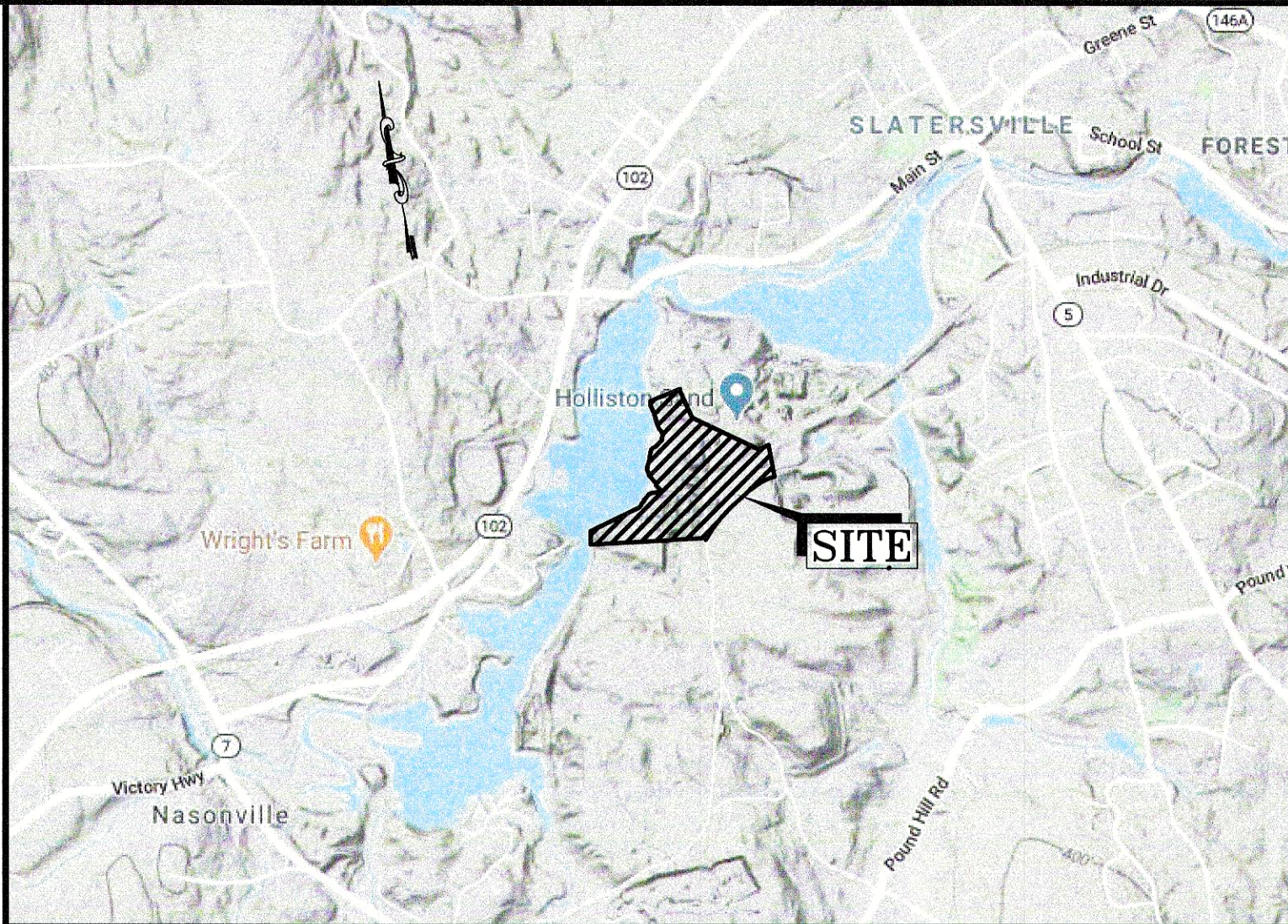
NORTH SMITHFIELD, RHODE ISLAND
JULY 20, 2020

PREPARED FOR:

HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

PREPARED BY:

ANDREWS SURVEY & ENGINEERING, INC.
104 MENDON STREET
UXBRIDGE, MA 01569
P: 508.278.3897
F: 508.278.2289



LOCUS MAP
SCALE: 1" = 2,000'



Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning

P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289

500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD.

BEING A MAJORITY

DATE:

PROJECT:
HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

APPLICANT:
HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

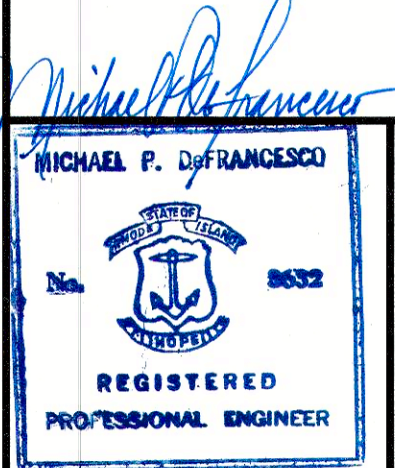
REVISIONS

NO.	DATE	DESCRIPTION

GRAPHIC SCALE

SHEET TITLE

COVER SHEET



P.E.

DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005

C1

PLAN NO. L-6209

OWNER OF RECORD:

HOLLISTON SAND CO, INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

NORTH SMITHFIELD
ASSESSORS INFORMATION:

PLAT 4, LOTS 35, 42, 43, 45, 46, &
223
PLAT 7, LOT 64

DEED REFERENCES:

BK. 218, PG. 709 BK. 116, PG. 701
BK. 179, PG. 315 BK. 116, PG. 697
BK. 116, PG. 699 BK. 182, PG. 1018
BK. 854, PG. 265 BK. 884, PG. 461

PLAN REFERENCE:

PLAN OF SURVEY IN AND FOR THE
TOWN OF NORTH SMITHFIELD, R.I.,
PREPARED BY RONALD M. ASH &
ASSOCIATES, INC., DATED SEPTEMBER
1983.
P.B. 1, PL. 461

GOVERNMENT / UTILITY CONTACTS

NORTH SMITHFIELD POLICE DEPT.
575 SMITHFIELD ROAD
P: 401-762-1212
F: 401766-9412
ATTN: TIM LAFFERTY, CHIEF

NORTH SMITHFIELD FIRE DEPT.
1470 PROVIDENCE PIKE
P: 401-762-1135
P: 401-769-2788
ATTN: DAVID CHARTIER, CHIEF

NORTH SMITHFIELD PLANNING DEPARTMENT
83 GREEN STREET
P: 401-767-2200 (EXT. 336)
F: 401-766-0016
ATTN: TOM KRAVITZ, PLANNER

NORTH SMITHFIELD D.P.W.
P: 401-767-2200 (EXT. 341) (ADMINISTRATION)
P: 401-767-2200 (EXT. 305) (WATER & SEWER DIVISION)
P: 401-767-2200 (EXT. 343) (HIGHWAY DIVISION)
ATTN: RAYMOND J. PENDERGAST, JR., DIRECTOR

NORTH SMITHFIELD BUILDING DEPT.
83 GREEN STREET
P: 401-767-2200 (EXT. 309)
ATTN: KERRY ANDERSON, BUILDING OFFICIAL

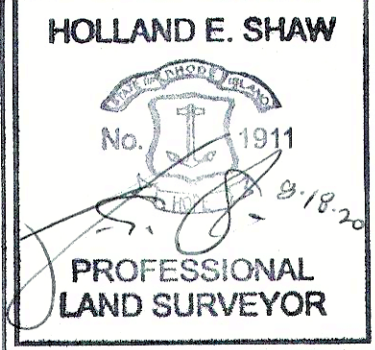
NATIONAL GRID, RHODE ISLAND
P: 800-322-3223

VERIZON COMMUNICATIONS
P: 800-870-9999

ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM
CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND
PROVIDENCE PLANTATIONS. BOARD OF REGISTRATION FOR
PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION
OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE
AS FOLLOWS:

PROPERTY BOUNDARIES:
PHYSICAL FEATURES AND TOPOGRAPHY:
PROPOSED FEATURES:

CLASS I
CLASS III
CLASS IV



ZONING TABLE

RURAL ESTATE AGRICULTURE (REA)

INTENSITY	REQUIRED	PROVIDED
MINIMUM LOT AREA	120,000 SF	2,064,389 SF±
MINIMUM LOT FRONTAGE	300 FT	1,230 FT
MINIMUM FRONT SETBACK	40 FT	385.9 FT
MINIMUM SIDE SETBACK	25 FT	40 FT
MINIMUM REAR SETBACK	40 FT	641.4 FT
MAXIMUM BUILDING HEIGHT	35 FT	— FT
MAXIMUM BUILDING COVERAGE	20%	1.4%±

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO EXCAVATION TO "LOCATE" ALL EXISTING FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

3. TAXATION OF THE RENEWAL ENERGY PROJECT SHALL BE PURSUANT TO RI GENERAL LAWS §44-5-3(c) AND OFFICE OF ENERGY RESOURCES RULES AND REGULATIONS FOR COMMERCIAL RENEWABLE ENERGY SYSTEMS TANGIBLE TAX VALUE, RULE 6.0, EFFECTIVE JANUARY 1, 2017.

4. ADMINISTRATIVE SUBDIVISION APPROVED ON JUNE 25, 2020
AND RECORDED IN PLAN BOOK 1, PLAN 461.

5. ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE AS FOLLOWS:

PROPERTY BOUNDARIES:
PHYSICAL FEATURES AND TOPOGRAPHY:
PROPOSED FEATURES:

CLASS I
CLASS III
CLASS IV



PLAT 4, LOT 34-A
N/F
DUDLEY DEVELOPMENT CORP.

SLATERSVILLE
RESERVOIR

PLAT 4, LOT 223
N/F
HOLLISTON SAND COMPANY INC.

S05°21'53"W
— 20.82'

PLAT 4, LOTS 35, 42,
43, 45, 46, & 223
PLAT 7, LOT 64
HOLLISTON SAND COMPANY, INC.
2,064,389 S.F.±
47.39 ACRES±

FLOOD ZONE AE LINE (TYP)
EL=254
PANEL # 44007C0151G

APPROX. LIMIT
OF WORK.

AREA OF SOLAR
ARRAY=231,259 S.F.±
AREA OF SOLAR ARRAY IS
10.33%± OF TOTAL LOT AREA

PLAT 4, LOT 47
N/F
MCS ENTERPRISES, LLC

PLAT 4, LOT 49
N/F
MCS ENTERPRISES

ASE

Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning

**P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289**

**500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963**

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY

DATE: _____

PROJECT:

HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

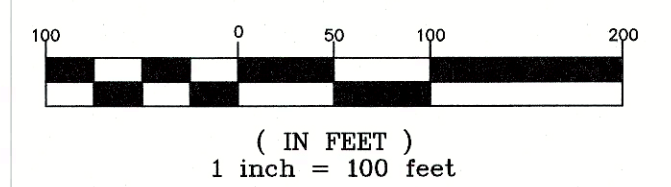
APPLICANT:

HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

REVISIONS

NO.	DATE	DESCRIPTION

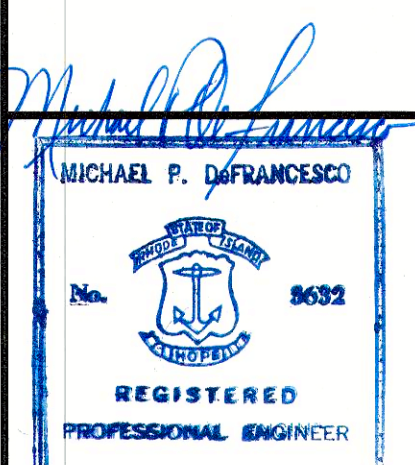
GRAPHIC SCALE



(IN FEET)
inch = 100 feet

SHEET TITLE

OVERALL SITE PLAN



DES BY: JJS DATE: 07/20/20

CHK BY: BJA	PROJECT NO. 2020-005
-------------	----------------------

C2

PLAN NO. I-6209

\\ANDREWS-SBS\STORAGE\ACAD\MISCELLANEOUS\HOLLISTON SAND\STATE PLANE\DWG\2019-005 SITE PLAN 20-06-12.DWG 08-18-20 10:16:02 AM - LAYOUT OVERALL

SLOPE LEGEND

<15%

15-25%

>25%

SOIL LEGEND

CeC

CANTON & FINE SANDY LOAMS, 3-15% SLOPES, VERY ROCKY

HkA

HINKLEY LOAMY SAND, 0-3% SLOPES

HkD

HINKLEY LOAMY SAND, 15-25% SLOPES

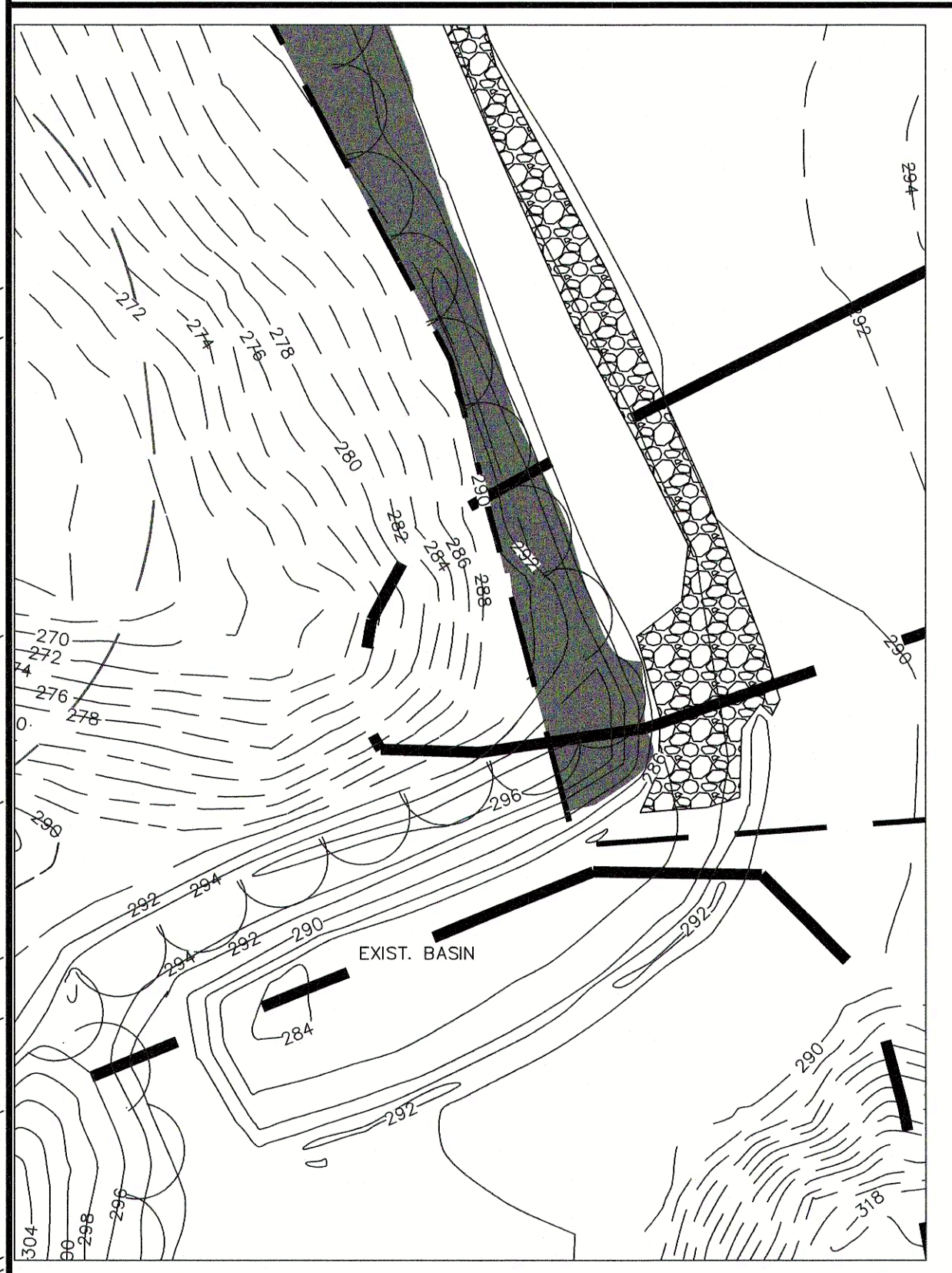
Pg

PITS, GRAVEL

- NOTES:
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - DATUM: NAVD 88
 - TAXATION OF THE RENEWAL ENERGY PROJECT SHALL BE PURSUANT TO RI GENERAL LAWS §44-5-3(c) AND OFFICE OF ENERGY RESOURCES' RULES AND REGULATIONS FOR COMMERCIAL RENEWABLE ENERGY SYSTEMS TANGIBLE TAX VALUE, RULE 6.0, EFFECTIVE JANUARY 1, 2017.
 - ADMINISTRATIVE SUBDIVISION APPROVED ON JUNE 25, 2020 AND RECORDED IN PLAN BOOK 1, PLAN 461.
 - ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE AS FOLLOWS:

PROPERTY BOUNDARIES:
PHYSICAL FEATURES AND TOPOGRAPHY:
PROPOSED FEATURES:

CLASS I
CLASS III
CLASS IV



ASE

Andrews Survey & Engineering, Inc.

Land Surveying - Civil Engineering - Site Planning

P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289

500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD.

BEING A MAJORITY DATE:

PROJECT:

HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

APPLICANT:

HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

REVISIONS

NO.	DATE	DESCRIPTION

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
1 inch = 40 feet

SHEET TITLE

EXISTING
CONDITIONS PLAN &
SOILS MAP

MICHAEL P. DI FRANCESCO

REGISTERED
PROFESSIONAL ENGINEER

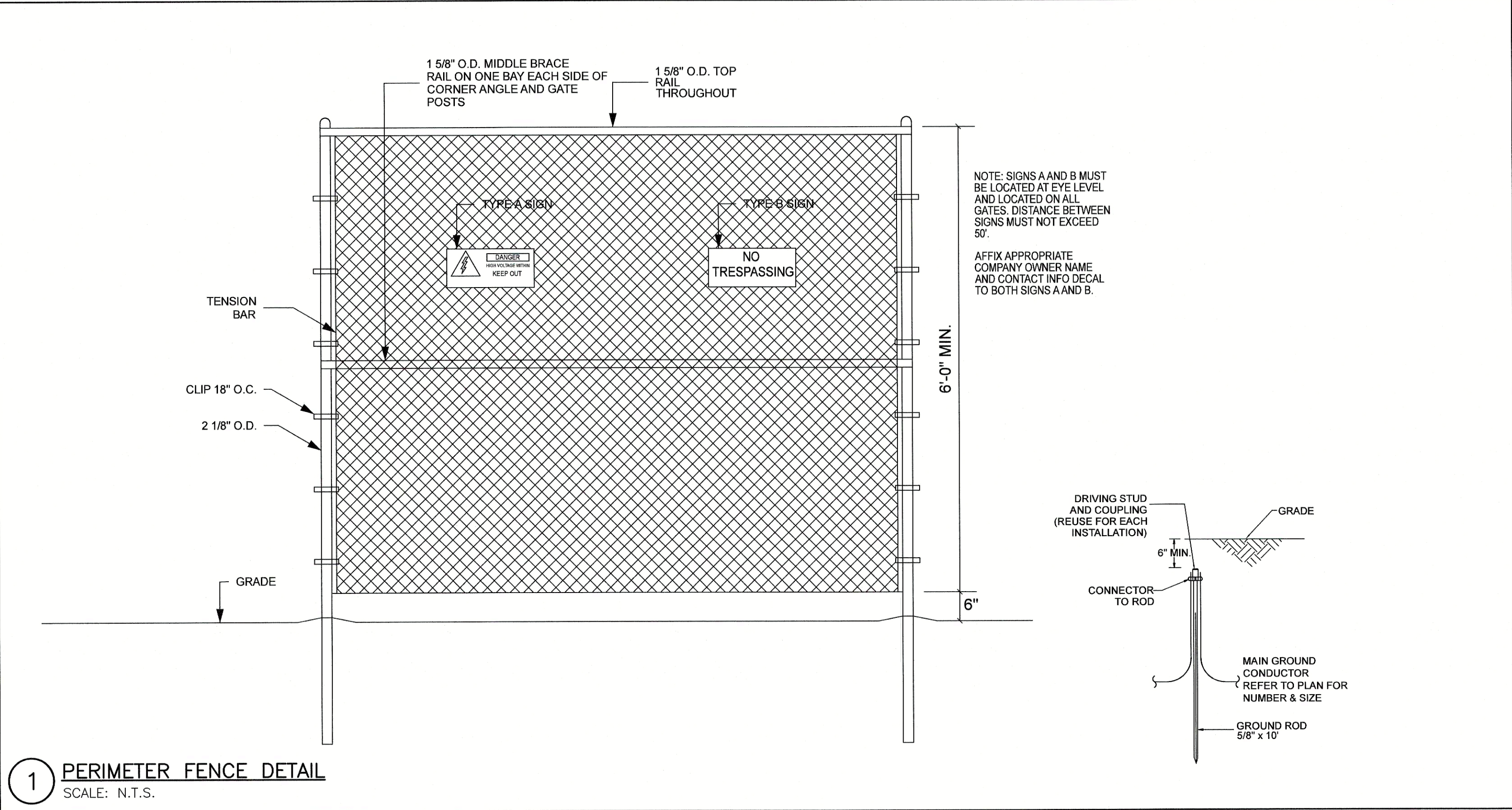
DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO: 2020-005

C3

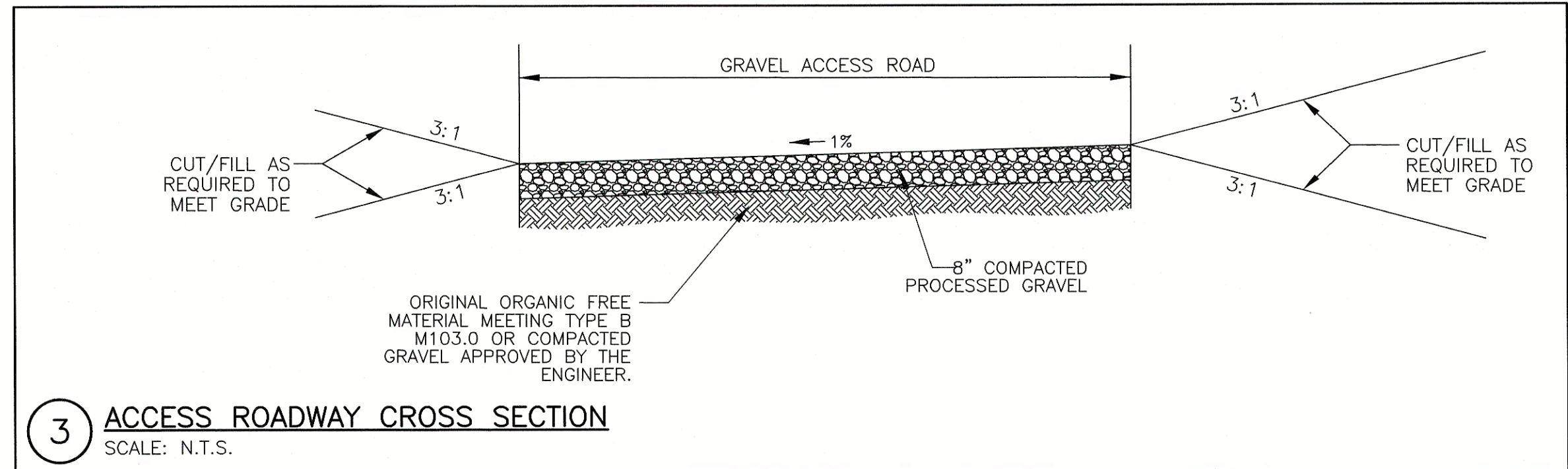
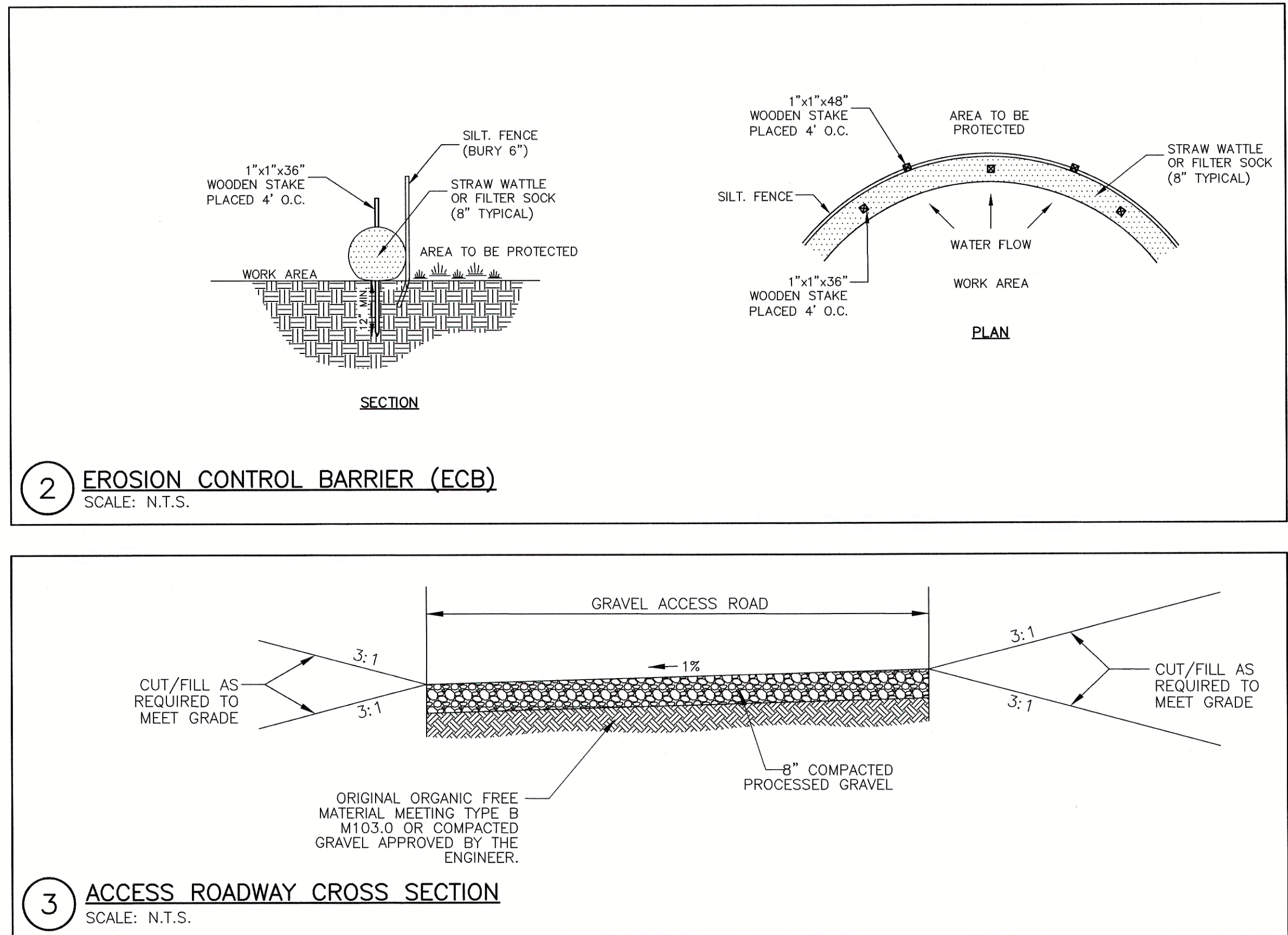
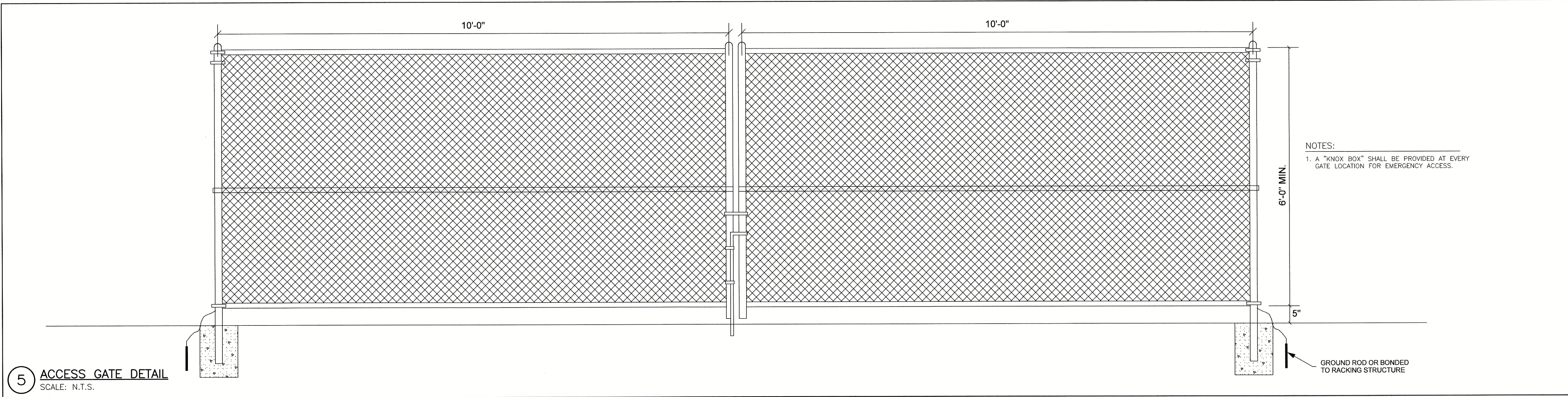
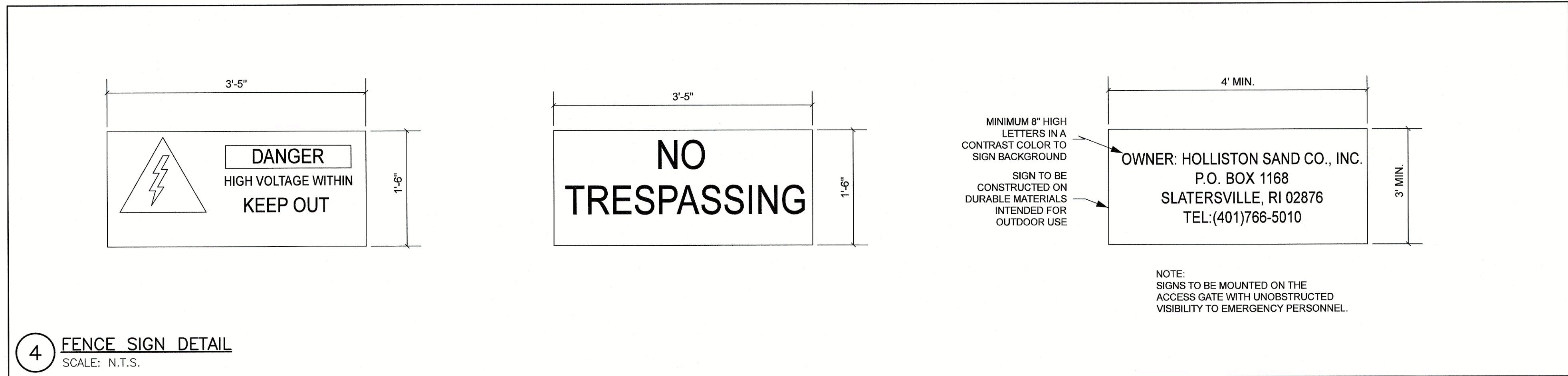
ANDREWS-SES STORAGE\ACAD\MISCELLANEOUS\HOLLISTON SAND STATE PLANE.DWG 2019-005 SITE PLAN 20-06-12.DWG 08-18-20 10:15:16 AM - LAYOUT ECI

2020 © COPYRIGHT ANDREWS SURVEY & ENGINEERING, INC.

F:\ACAD\MISCELLANEOUS\HOLLISTON SAND STATE PLANE.DWG 2019-005 SITE PLAN 20-08-12.DWG 09-14-20 7:04:50 AM - LAYOUT DETAILS



- GROUNDING NOTES
- A. Ground fence enclosures at diagonally opposite corners and at intervals not exceeding 500 feet.
- B. Where an electric utility line passes over the fence, fence shall be grounded at points 50 feet, measured horizontally, beyond where the outside conductors pass over the fence.
- C. Where an electric utility line runs parallel to and within 40 feet of the fence, measured horizontally, fence shall be grounded at 50 ft. maximum intervals along the parallel section of fence.
- D. Fence post grounding shall consist of three grounding clamps, installed at the top, middle and bottom of the post, connected to the ground wire.
- E. Fence grounding shall consist of conductors secured to the fence with compression connectors.
- The National Electrical Safety Code (NESC) recommends that where fences are required to be grounded, such grounding shall be designed to limit touch, step and transferred voltages in accordance with industry practice.
- The NESC requires that the grounding connection be made either to the grounding system of the enclosed equipment or to a separate ground. In addition, the NESC in Section 92E, lists six separate requirements for fences:
- Where gates are installed, the fence shall be grounded at each side of the gate or similar opening
 - If a conducting gate is used, a buried bonding jumper must be installed across the opening
 - Where gates are installed, they shall be bonded to the fence, grounding conductor or other bonding jumper.
 - If the fence posts consist of a conducting material, the grounding conductor must be connected to the fence posts with a suitable connecting means
 - If the fence contains sections of barbed wire, the barbed wire must also be bonded to the fence, grounding conductor or other bonding jumper
 - If the fence posts consist of a nonconducting material, a bonding connection shall be made to the fence mesh strands and barbed wire strands at each grounding conductor point.



ASE
Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning
P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289
500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY DATE:

PROJECT: HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

APPLICANT: HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE

DETAILS

Michael P. DiFrancesco
MICHAEL P. DIFRANCESCO
REGISTERED PROFESSIONAL ENGINEER
No. 8632

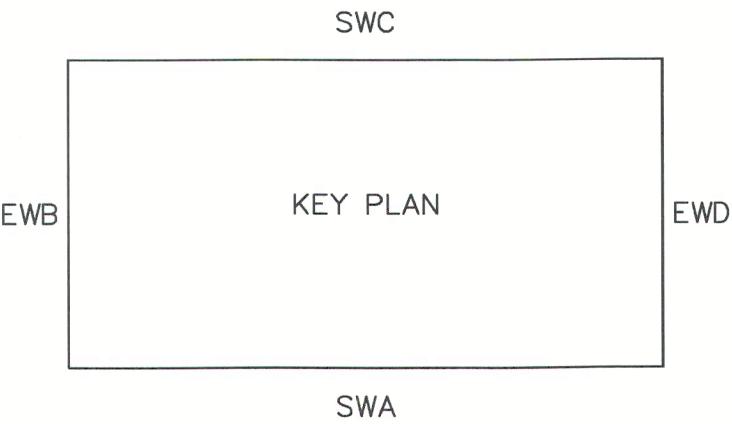
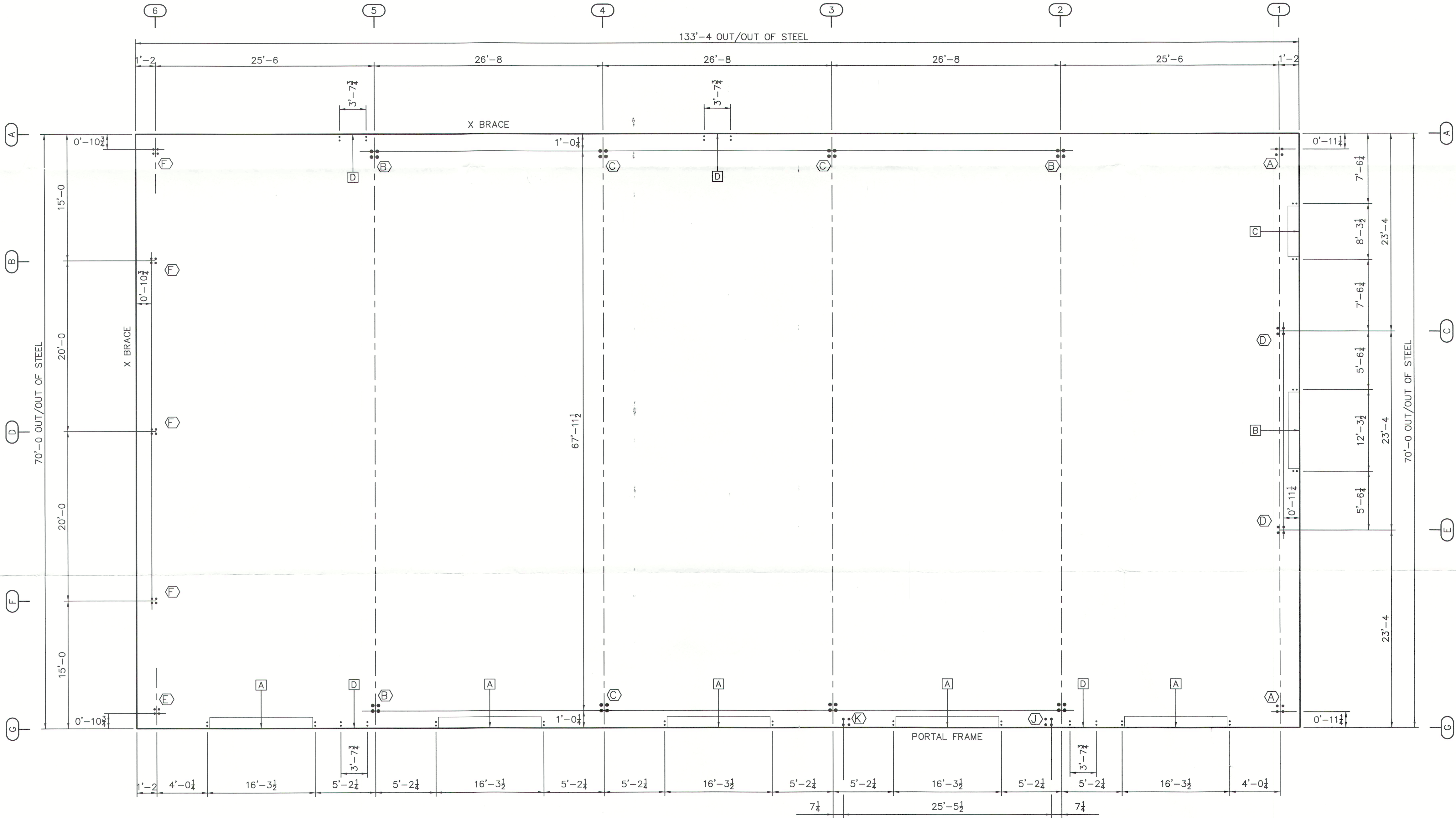
DES BY: JUS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005

C5

Anchor Rod Drawings

- 1) This drawing is for anchor rod placement only and is not foundation design.
2) Foundation must be square and level with all anchor rods true in size, location, and projection.
3) Projection shown must be held to keep threads clear of finished concrete.
4) This structural design data includes magnitude and location of design loads and support conditions, material properties, and type and size of major structural members necessary to show compliance with the Order Documents at the time of this issue. Any change to building loads or dimensions may change structural member sizes and locations shown. This structural design data will be superseded and voided by any future mailing.
5) Anchor rod size is determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer, and are not provided by the manufacturer.
6) Anchor rods are ASTM F1554 Gr. 36 material unless noted otherwise.

FINISH FLOOR AT ELEVATION 100'-0



ACCESSORY SCHEDULE			
MARK	DESCRIPTION	DETAIL	QUAN.
A	16'-0 X 14'-0 FRAMED OPENINGS	G	5
B	12'-0 X 16'-0 FRAMED OPENINGS	G	1
C	8'-0 X 12'-0 FRAMED OPENINGS	G	1
D	3'-4 X 7'-2 FRAMED OPENINGS	H	4

ANCHOR BOLTS TO BE DESIGNED BY FOUNDATION ENGINEER USING DIAMETERS SHOWN IN THIS TABLE.	
ANCHOR ROD DESCRIPTION	QUANTITY
5/8"Ø DIAMETER X	64
3/4"Ø DIAMETER X	24
1"Ø DIAMETER X	32

ANCHOR ROD SETTING PLAN

By	LBR	Revision	1	Date	05/08/19	DESCRIPTION	REVISED ADDRESS ON BORDER ONLY.	OK'd	LBR
<div><div><div>ASTAR BUILDING SYSTEMS® ANALYTICAL COMPANY</div><div>8600 SOUTH I-35 SERVICE RD. OKLAHOMA CITY, OK 73149 (405) 636-2010</div></div><div><div>Customer: HOLLISTON SAND SLATERSVILLE, RI</div><div>Project Name & Location: HOLLISTON SAND 77 TIFT ROAD NORTH SMITHFIELD, RI 02896</div></div><div><div>Drawing Status: <input type="checkbox"/> Preliminary <input type="checkbox"/> For Approval <input checked="" type="checkbox"/> REVISED</div><div><input type="checkbox"/> For Construction Permit <input checked="" type="checkbox"/> For Erector Installation</div></div></div>									
Scale: NOT TO SCALE									
Drawn by: LBR 10/15/18									
Checked by: HNL 10/16/18									
Project Engineer: AKR									
Job Number: 16-B-70905									
Sheet Number: F1 of 4									
The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.									

DRST1B ENST2A

113

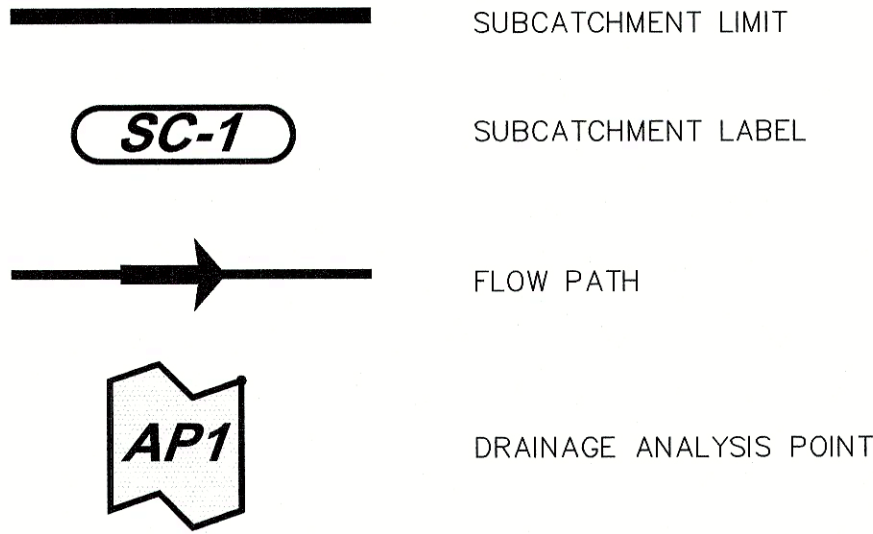
PHILLIP J JOHNSON

No. 8384

REGISTERED PROFESSIONAL ENGINEER CIVIL

\\ANDREWS-SBS\STORAGE\ACAD\MISCELLANEOUS\HOLLISTON SAND\HOLLISTON SAND STATE PLANE DWG\2019-005 SITE PLAN 20-06-12.DWG 08-18-20 10:19:30 AM - LAYOUT PRE

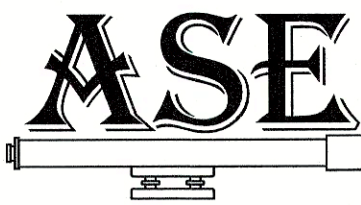
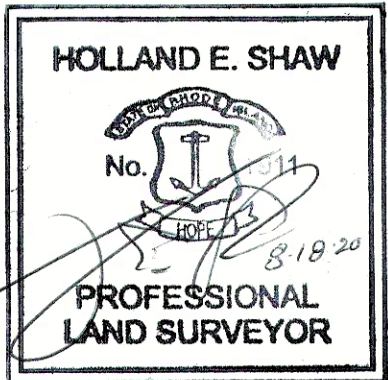
LEGEND



NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- DATUM: NAVD 88
- TAXATION OF THE RENEWAL ENERGY PROJECT SHALL BE PURSUANT TO RI GAENERAL LWS §44-5-3(c) AND OFFICE OFENERGY RESOURCES RULES AND REGULATIONS FOR COMMERCIAL RENEWABLE ENERGY SYSTEMS TANGIBLE TAX VALUE, RULE 6.0, EFFECTIVE JANUARY 1, 2017.
- ADMINISTRATIVE SUBDIVISION APPROVED ON JUNE 25, 2020 AND RECORDED IN PLAN BOOK 1, PLAN 461.
- ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE AS FOLLOWS:

PROPERTY BOUNDARIES: CLASS I
PHYSICAL FEATURES AND TOPOGRAPHY: CLASS III
PROPOSED FEATURES: CLASS IV



Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning

P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289

500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

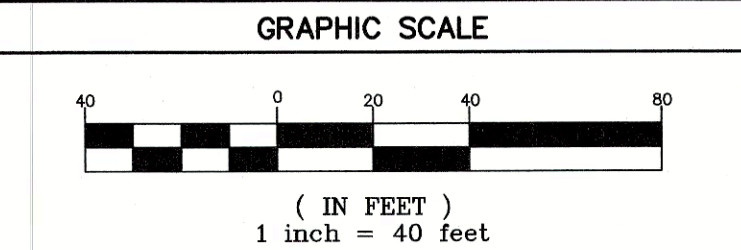
APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW, NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY DATE:

HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

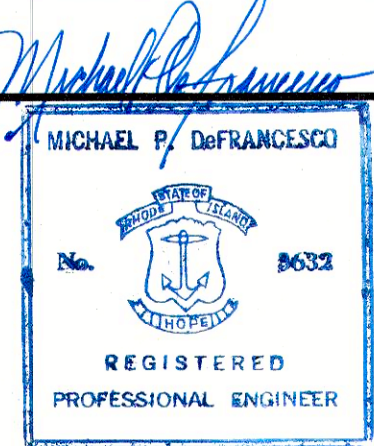
HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

REVISIONS		
NO.	DATE	DESCRIPTION



SHEET TITLE

**WATERSHED MAP:
EXISTING CONDITIONS**



DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005

D1

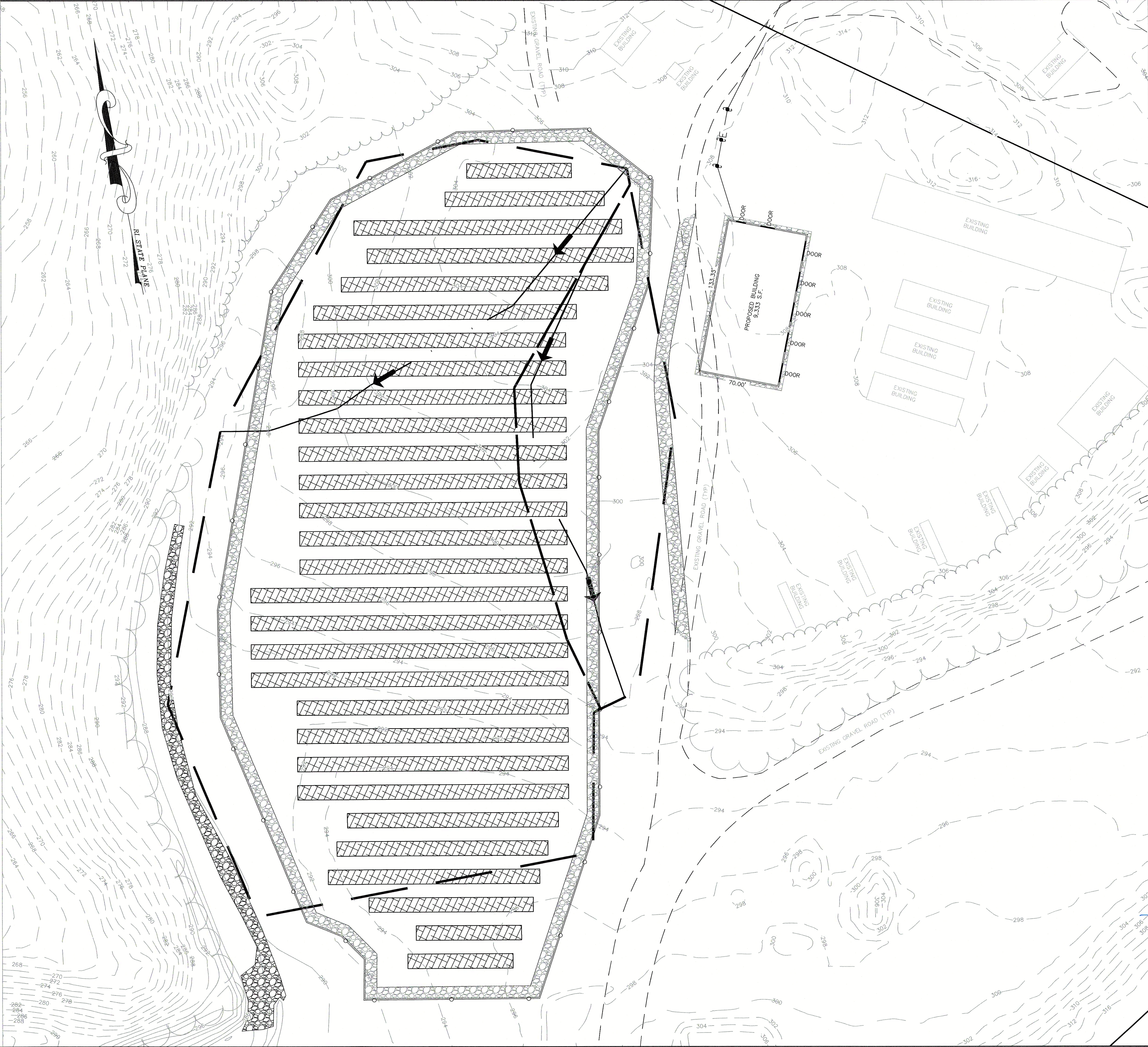
LEGEND

- SUBCATCHMENT LIMIT
- SUBCATCHMENT LABEL
- FLOW PATH
- DRAINAGE ANALYSIS POINT

NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. DATUM: NAVD 88
3. TAXATION OF THE RENEWAL ENERGY PROJECT SHALL BE PURSUANT TO RI GAENERAL LWS §44-5-3(c) AND OFFICE OF ENERGY RESOURCES RULES AND REGULATIONS FOR COMMERCIAL RENEWABLE ENERGY SYSTEMS TANGIBLE TAX VALUE, RULE 6.0, EFFECTIVE JANUARY 1, 2017.
4. ADMINISTRATIVE SUBDIVISION APPROVED ON JUNE 25, 2020 AND RECORDED IN PLAN BOOK 1, PLAN 461.
5. ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE AS FOLLOWS:

PROPERTY BOUNDARIES: CLASS I
PHYSICAL FEATURES AND TOPOGRAPHY: CLASS III
PROPOSED FEATURES: CLASS IV



Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning

P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289

500 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY

DATE:

HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI

HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

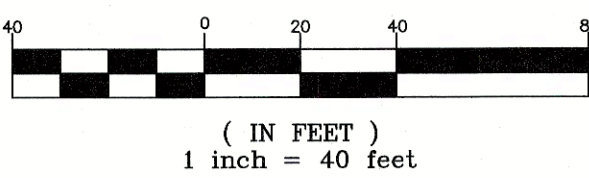
PROJECT:

APPLICANT:

REVISIONS

NO.	DATE	DESCRIPTION

GRAPHIC SCALE



SHEET TITLE

WATERSHED MAP:
DEVELOPED
CONDITIONS

MICHAEL P. DEFRANCESCO



DES BY: JUS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005

D2

PLAN NO. L-6209