

HOLLISTON SAND

LAND DEVELOPMENT PLAN

NORTH SMITHFIELD, RHODE ISLAND

JULY 20, 2020

PREPARED FOR:

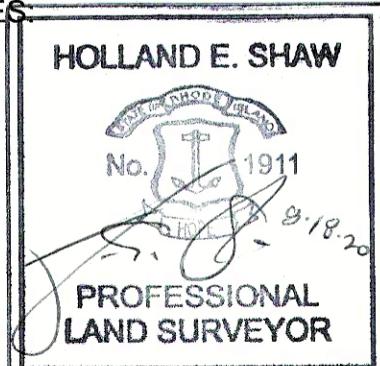
HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

PREPARED BY:

ANDREWS SURVEY & ENGINEERING, INC.
104 MENDON STREET
UXBRIDGE, MA 01569
P: 508.278.3897
F: 508.278.2289

ALL PLANS AND CERTIFICATIONS CONFORM TO A MINIMUM CLASS IV STANDARD OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION OF LAND SURVEYORS. THE STANDARDS ON THIS PLAN ARE AS FOLLOWS:

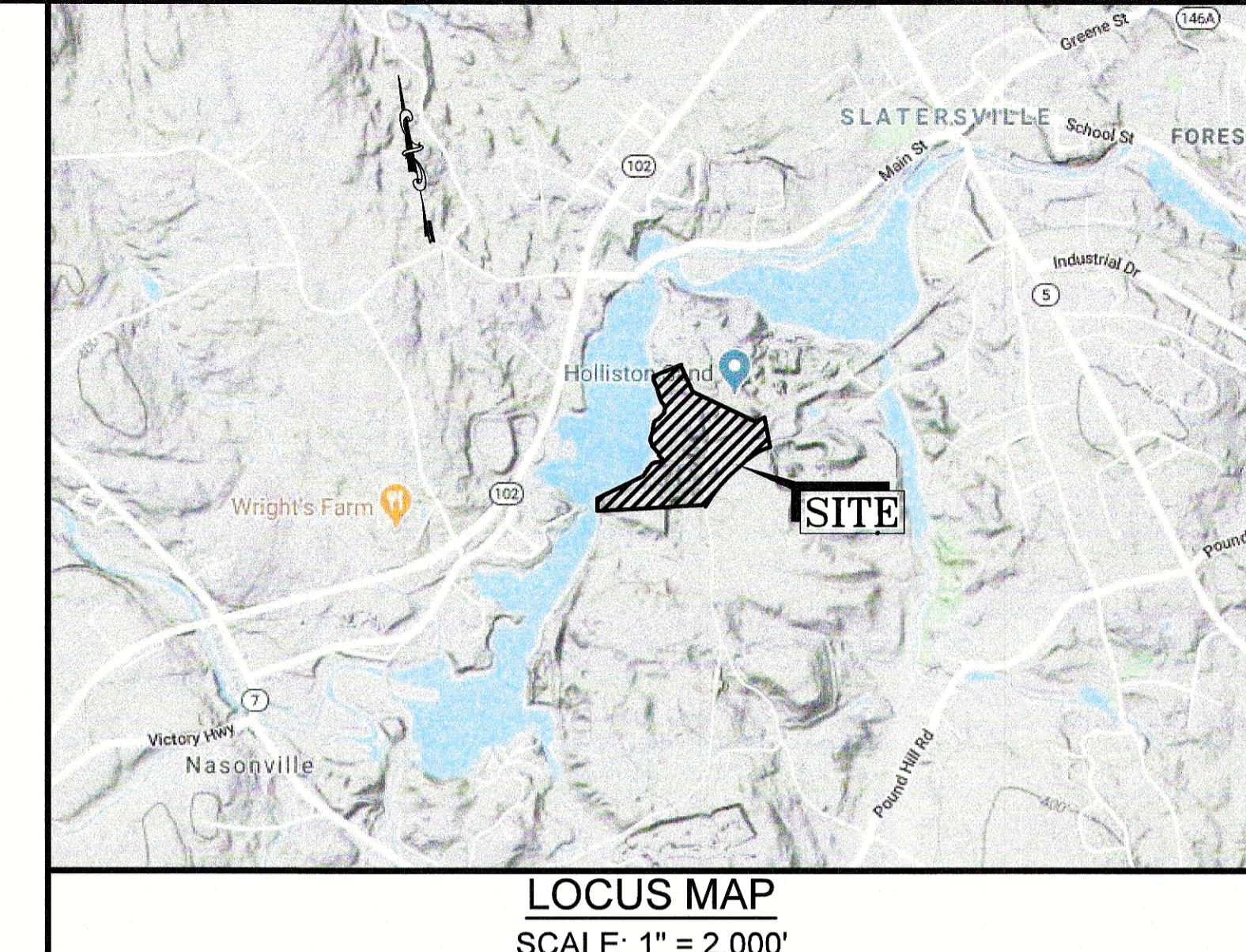
PROPERTY BOUNDARIES: CLASS I
PHYSICAL FEATURES AND TOPOGRAPHY: CLASS III
PROPOSED FEATURES: CLASS IV



ZONING TABLE		
RURAL ESTATE AGRICULTURE (REA)		
INTENSITY	REQUIRED	PROVIDED
MINIMUM LOT AREA	120,000 SF	2,064,389 SF±
MINIMUM LOT FRONTAGE	300 FT	1,230 FT
MINIMUM FRONT SETBACK	40 FT	385.0 FT
MINIMUM SIDE SETBACK	25 FT	40 FT
MINIMUM REAR SETBACK	40 FT	641.4 FT
MAXIMUM BUILDING HEIGHT	35 FT	— FT
MAXIMUM BUILDING COVERAGE	20%	1.4%±

OWNER OF RECORD: HOLLISTON SAND CO., INC. P.O. BOX 1168 SLATERSVILLE, RI 02876	
NORTH SMITHFIELD ASSESSORS INFORMATION: PLAT 4, LOTS 35, 42, 43, 45, 46, & 223 PLAT 7, LOT 64	
DEED REFERENCES: BK. 218, PG. 709 BK. 116, PG. 701 BK. 179, PG. 315 BK. 116, PG. 697 BK. 116, PG. 699 BK. 182, PG. 1018 BK. 854, PG. 265 BK. 884, PG. 461	
PLAN REFERENCE: PLAN OF SURVEY IN AND FOR THE TOWN OF NORTH SMITHFIELD, R.I., PREPARED BY RONALD M. ASH & ASSOCIATES, INC., DATED SEPTEMBER 1983. P.B. 1, PL. 461	

GOVERNMENT / UTILITY CONTACTS		
NORTH SMITHFIELD POLICE DEPT. 575 SMITHFIELD ROAD P: 401-767-2200 (EXT. 341) (ADMINISTRATION) P: 401-767-2200 (EXT. 305) (WATER & SEWER DIVISION) F: 401-766-9412 ATTN: TIM LAFFERTY, CHIEF		VERIZON COMMUNICATIONS P: 800-870-9999
NORTH SMITHFIELD FIRE DEPT. 1470 PROVIDENCE PIKE P: 401-762-1135 P: 401-769-2788 ATTN: DAVID CHARTIER, CHIEF		NORTH SMITHFIELD D.P.W. P: 401-767-2200 (EXT. 341) (HIGHWAY DIVISION) P: 401-767-2200 (EXT. 343) (HIGHWAY DIVISION) ATTN: RAYMOND J. PENDERGAST, JR., DIRECTOR
NORTH SMITHFIELD BUILDING DEPT. 83 GREEN STREET P: 401-767-2200 (EXT. 309) ATTN: KERRY ANDERSON, BUILDING OFFICIAL		NORTH SMITHFIELD PLANNING DEPARTMENT 83 GREEN STREET P: 401-767-2200 (EXT. 336) F: 401-766-0016 ATTN: TOM KRAVITZ, PLANNER
NATIONAL GRID, RHODE ISLAND P: 800-322-3223		



ASE
Andrews Survey & Engineering, Inc.
Land Surveying - Civil Engineering - Site Planning
P.O. Box 312, 104 Mendon Street
Uxbridge, Massachusetts 01569
P: 508-278-3897 F: 508-278-2289
509 East Washington Street
North Attleboro, Massachusetts 02760
P: 508-316-0452 F: 508-316-0963

APPROVAL UNDER LAND DEVELOPMENT PLAN
REVIEW. NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY DATE:

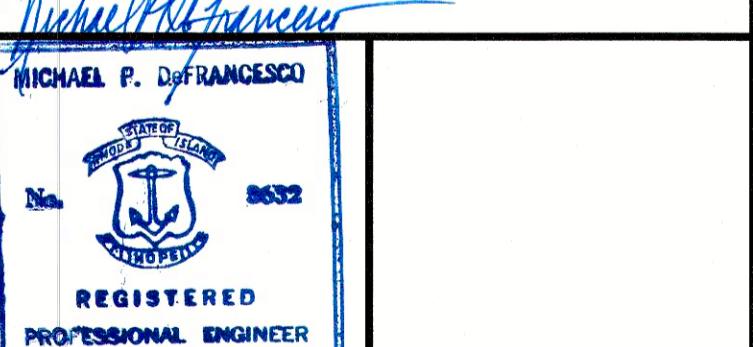
PROJECT:
HOLLISTON SAND
LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI
APPLICANT:
HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATERSVILLE, RI 02876

REVISIONS
NO. DATE DESCRIPTION

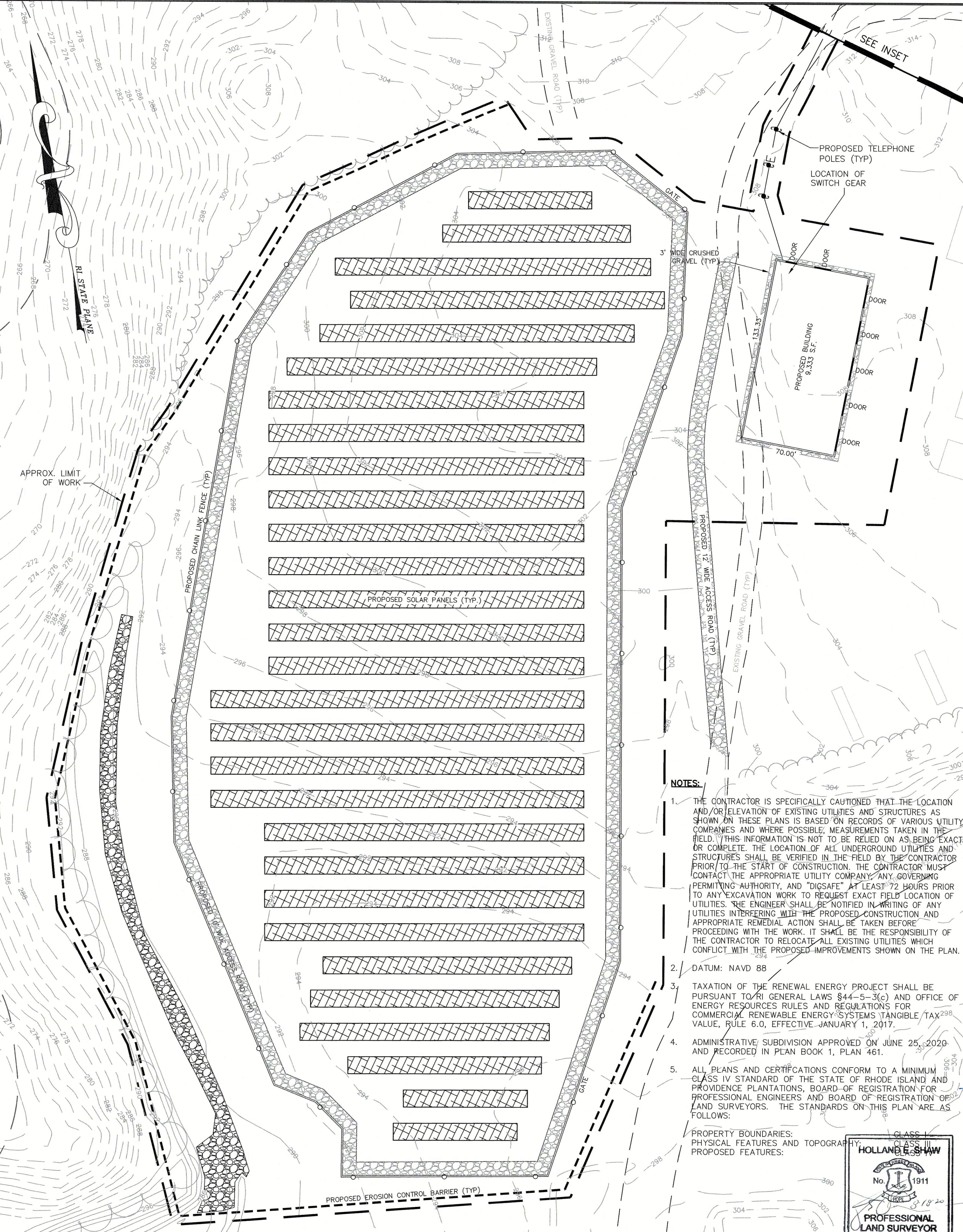
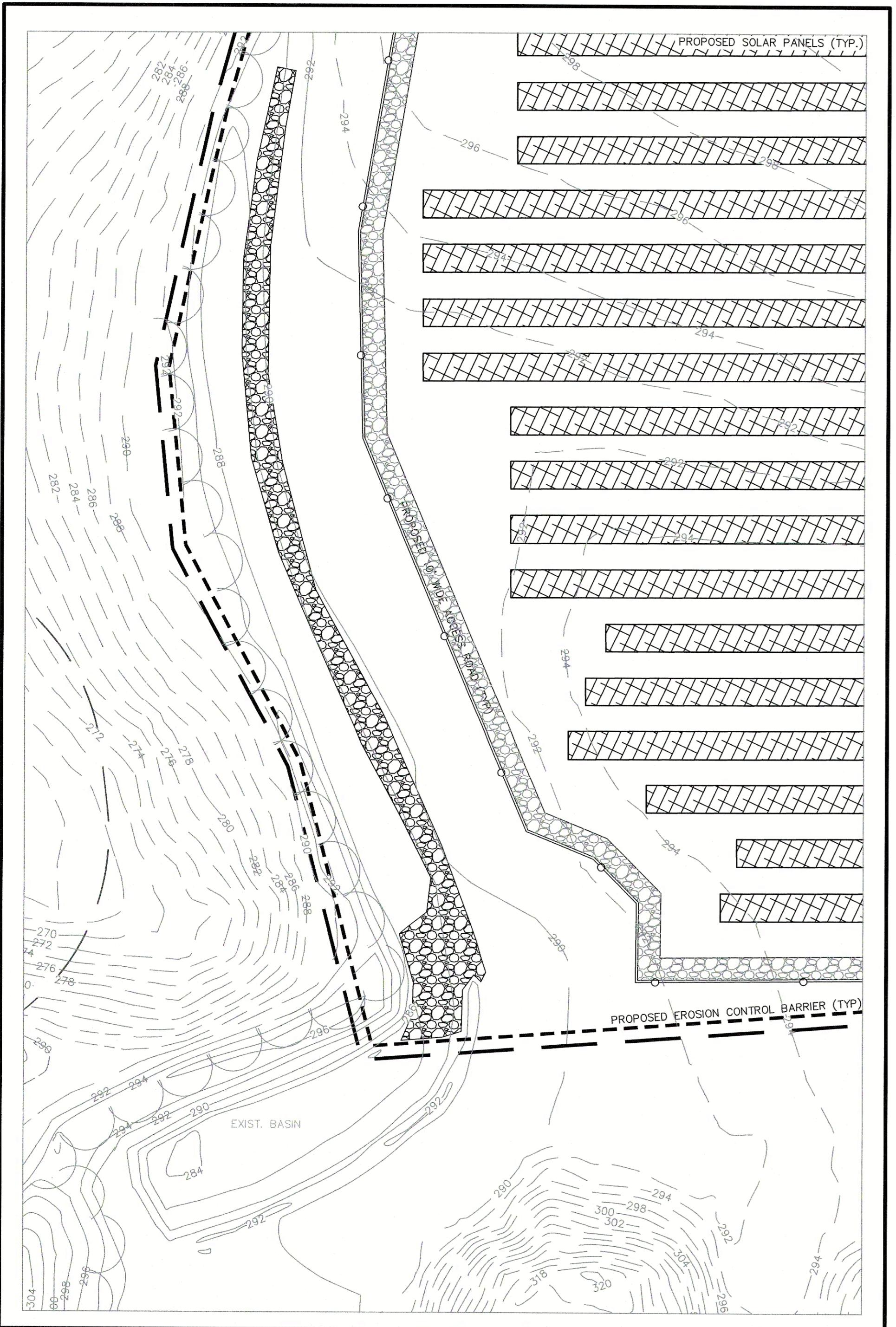
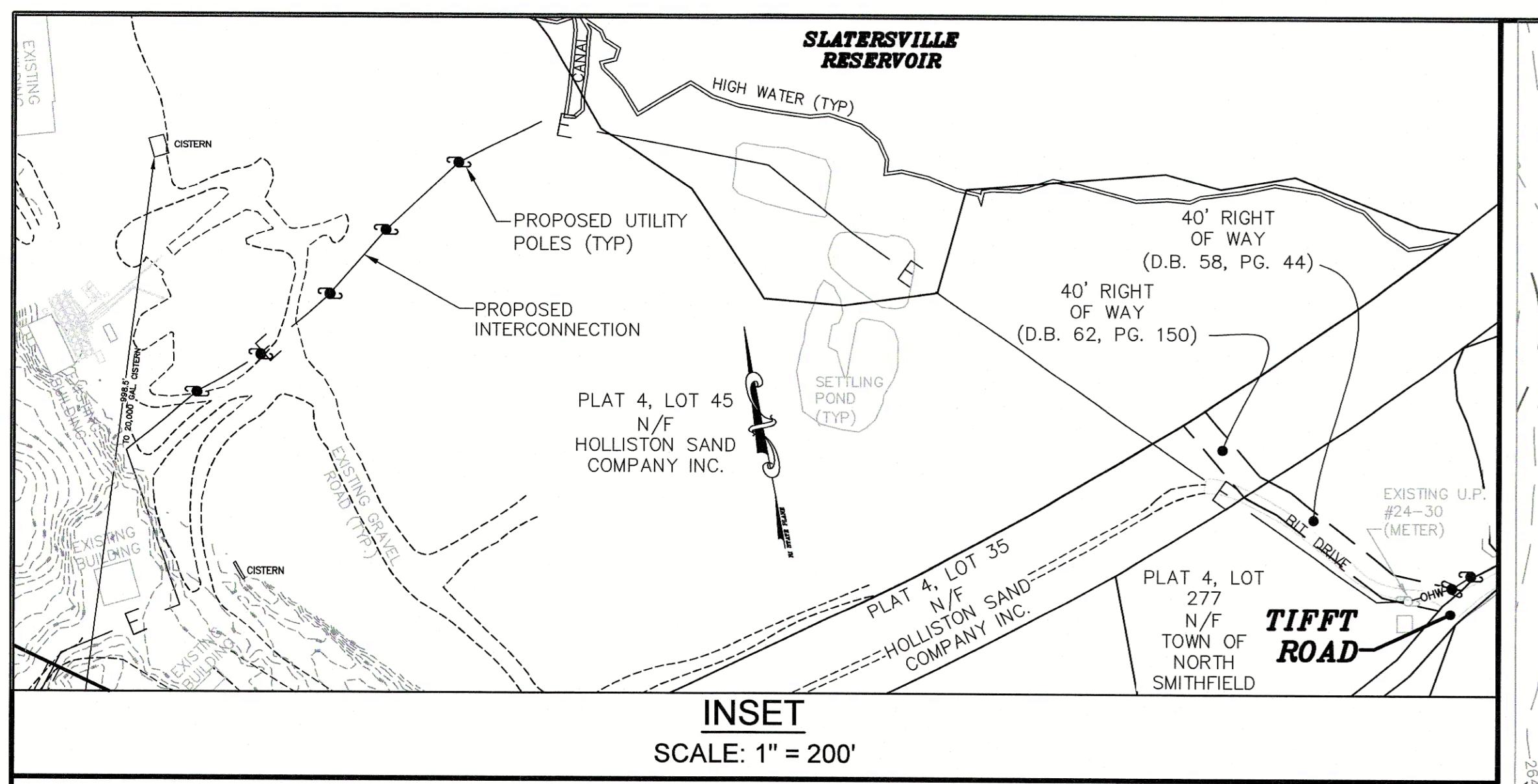
GRAPHIC SCALE

SHEET TITLE

COVER SHEET



P.E.
DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005
C1



ASE
Andrews Survey & Engineering, Inc.
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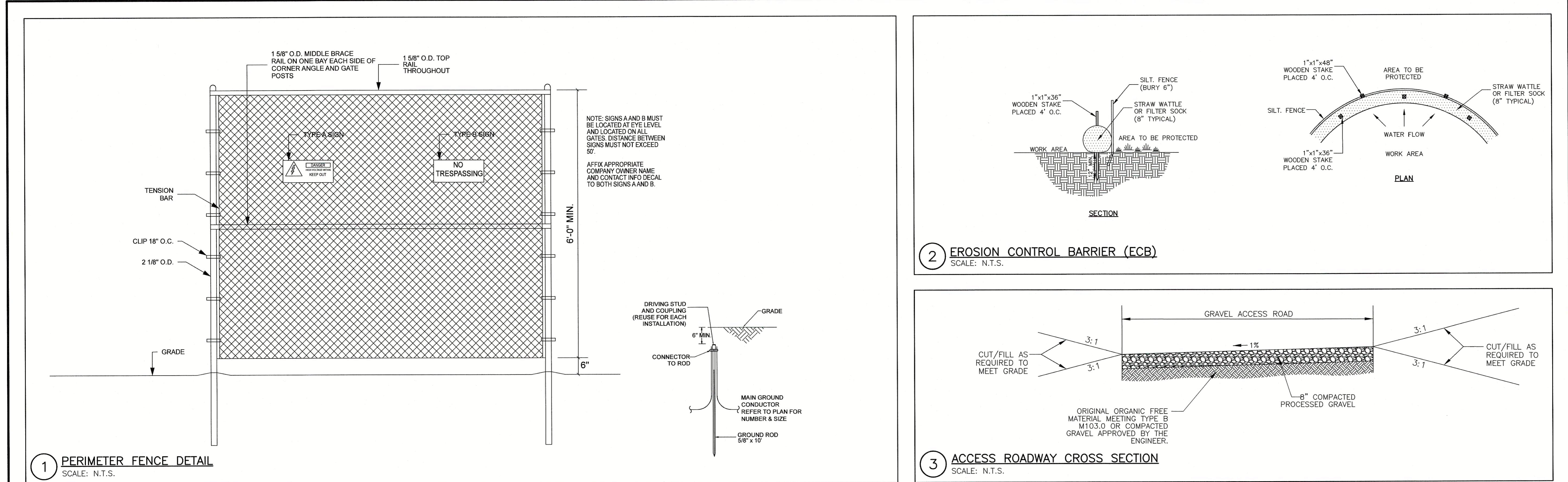
PROJECT: HOLLISTON SAND LAND DEVELOPMENT PLAN
OLD OXFORD ROAD
NORTH SMITHFIELD, RI
APPLICANT: HOLLISTON SAND CO., INC.
P.O. BOX 1168
SLATTERSVILLE, RI 02876

REVISIONS		
NO.	DATE	DESCRIPTION

GRAPHIC SCALE
(IN FEET)
1 inch = 40 feet

SHEET TITLE

SITE PLAN
JAMES R. FRANCESCO
REGISTERED PROFESSIONAL ENGINEER
DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005
C4



1 PERIMETER FENCE DETAIL

SCALE: N.T.S.

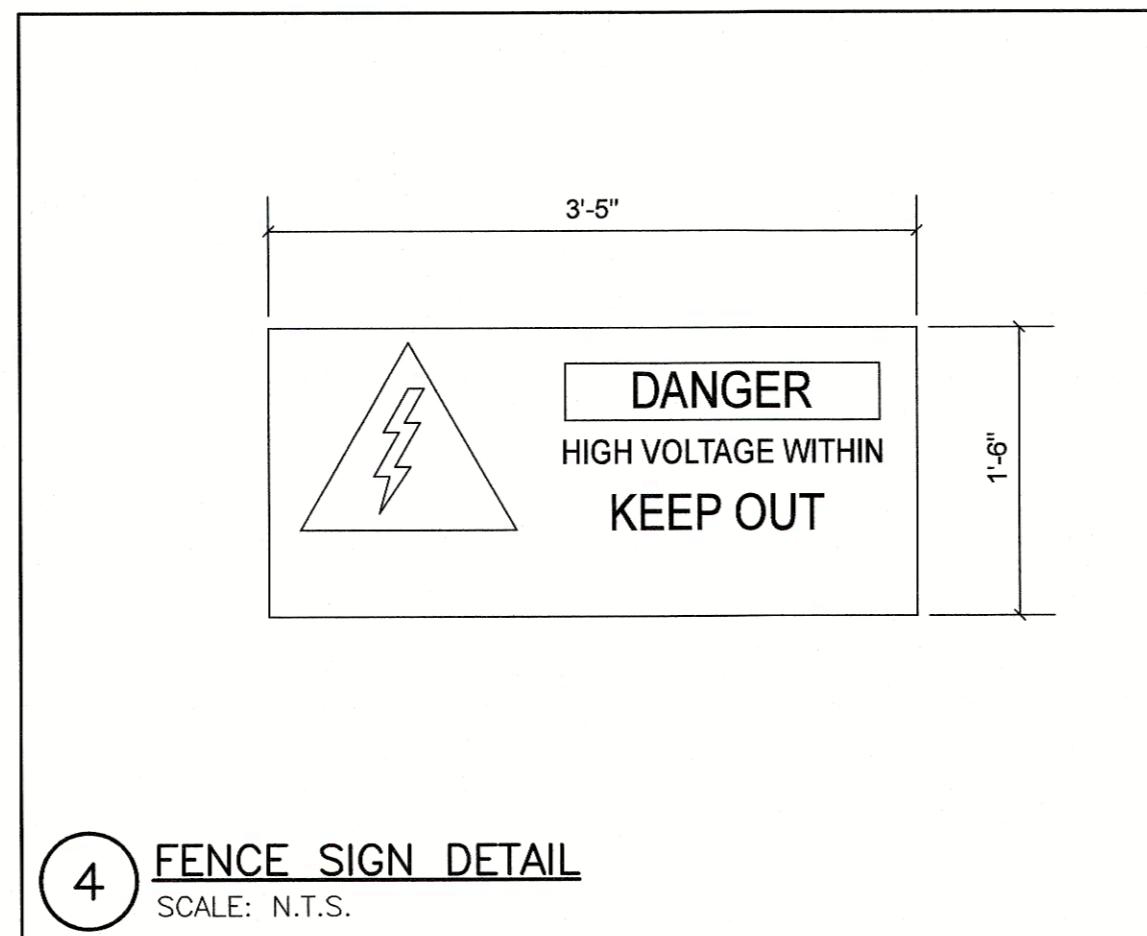
GROUNDING NOTES

- A. Ground fence enclosures at diagonally opposite corners and at intervals not exceeding 500 feet.
- B. Where an electric utility line passes over the fence, fence shall be grounded at points 50 feet, measured horizontally, beyond where the outside conductors pass over the fence.
- C. Where an electric utility line runs parallel to and within 40 feet of the fence, measured horizontally, fence shall be grounded at 50 ft. maximum intervals along the parallel section of fence.
- D. Fence post grounding shall consist of three grounding clamps, installed at the top, middle and bottom of the post, connected to the ground wire.
- E. Fence grounding shall consist of conductors secured to the fence with compression connectors.

The National Electrical Safety Code (NESC) recommends that where fences are required to be grounded, such grounding shall be designed to limit touch, step and transferred voltages in accordance with industry practice.

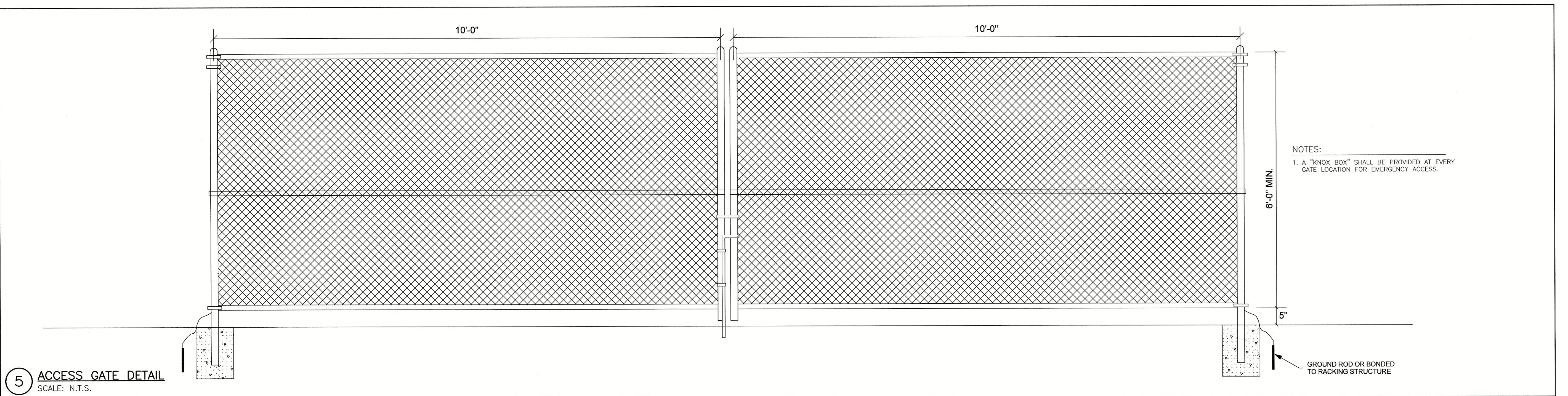
The NESC requires that the grounding connection be made either to the grounding system of the enclosed equipment or to a separate ground. In addition, the NESC in Section 92E, lists six separate requirements for fences:

1. Where gates are installed, the fence shall be grounded at each side of the gate or similar opening
2. If a conducting gate is used, a buried bonding jumper must be installed across the opening
3. Where gates are installed, they shall be bonded to the fence, grounding conductor or other bonding jumper
4. If the fence posts consist of a conducting material, the grounding conductor must be connected to the fence posts with a suitable connecting means
5. If the fence contains sections of barbed wire, the barbed wire must also be bonded to the fence, grounding conductor or other bonding jumper
6. If the fence posts consist of a nonconducting material, a bonding connection shall be made to the fence mesh strands and barbed wire strands at each grounding conductor point.



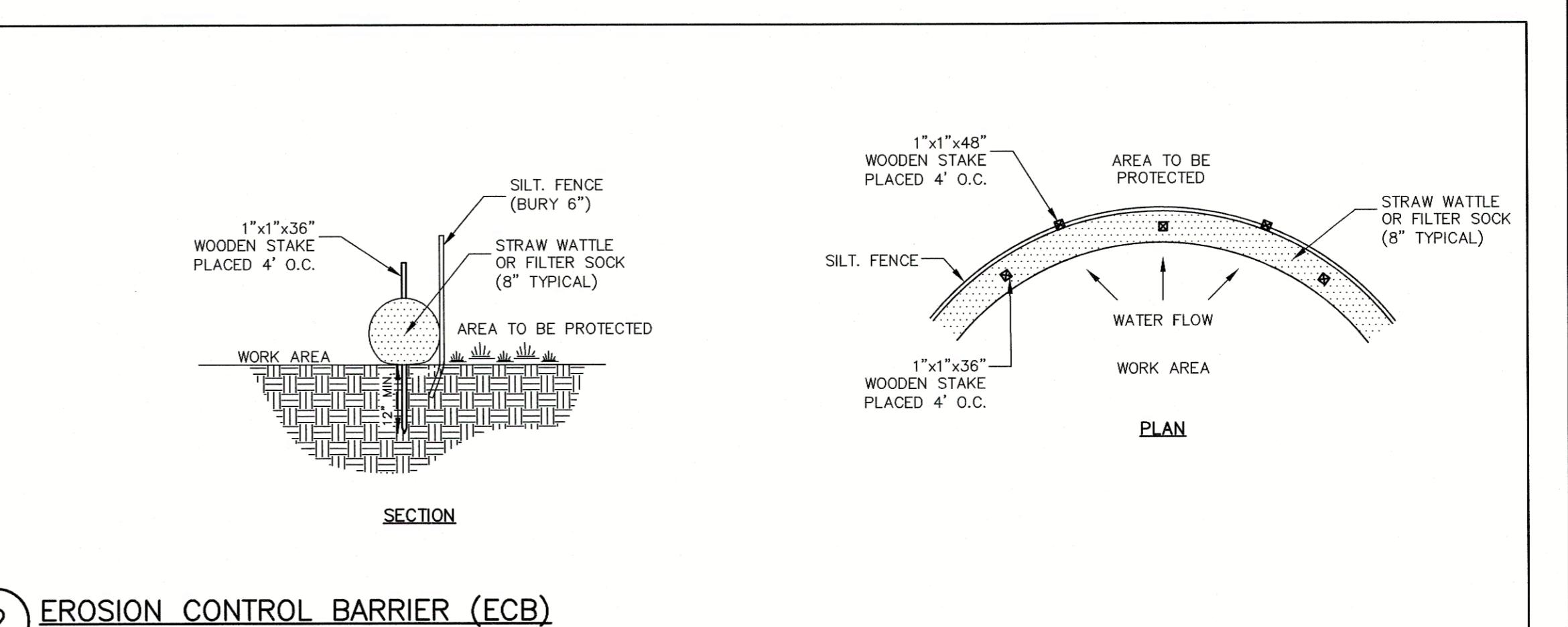
4 FENCE SIGN DETAIL

SCALE: N.T.S.



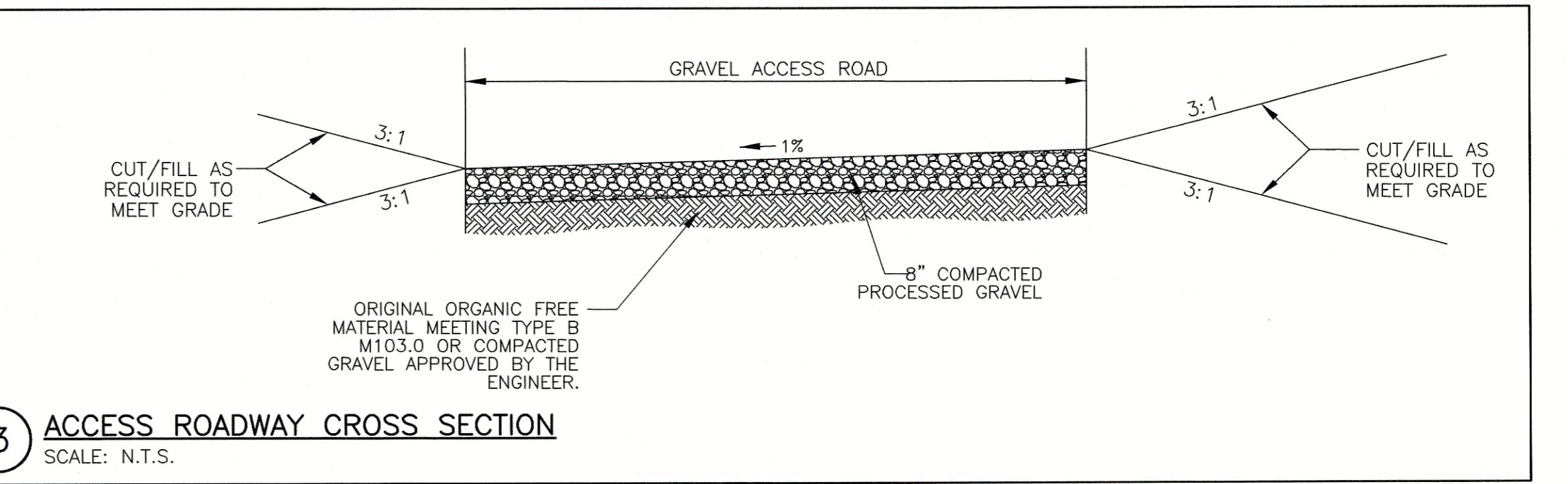
5 ACCESS GATE DETAIL

SCALE: N.T.S.



2 EROSION CONTROL BARRIER (ECB)

SCALE: N.T.S.



3 ACCESS ROADWAY CROSS SECTION

SCALE: N.T.S.

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APPROVAL UNDER LAND DEVELOPMENT PLAN REVIEW, NORTH SMITHFIELD PLANNING BOARD

BEING A MAJORITY DATE:

PROJECT: HOLLISTON SAND LAND DEVELOPMENT PLAN OLD OXFORD ROAD NORTH SMITHFIELD, RI
APPLICANT: HOLLISTON SAND CO., INC. P.O. BOX 1168 SLATERSVILLE, RI 02876

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SHEET TITLE

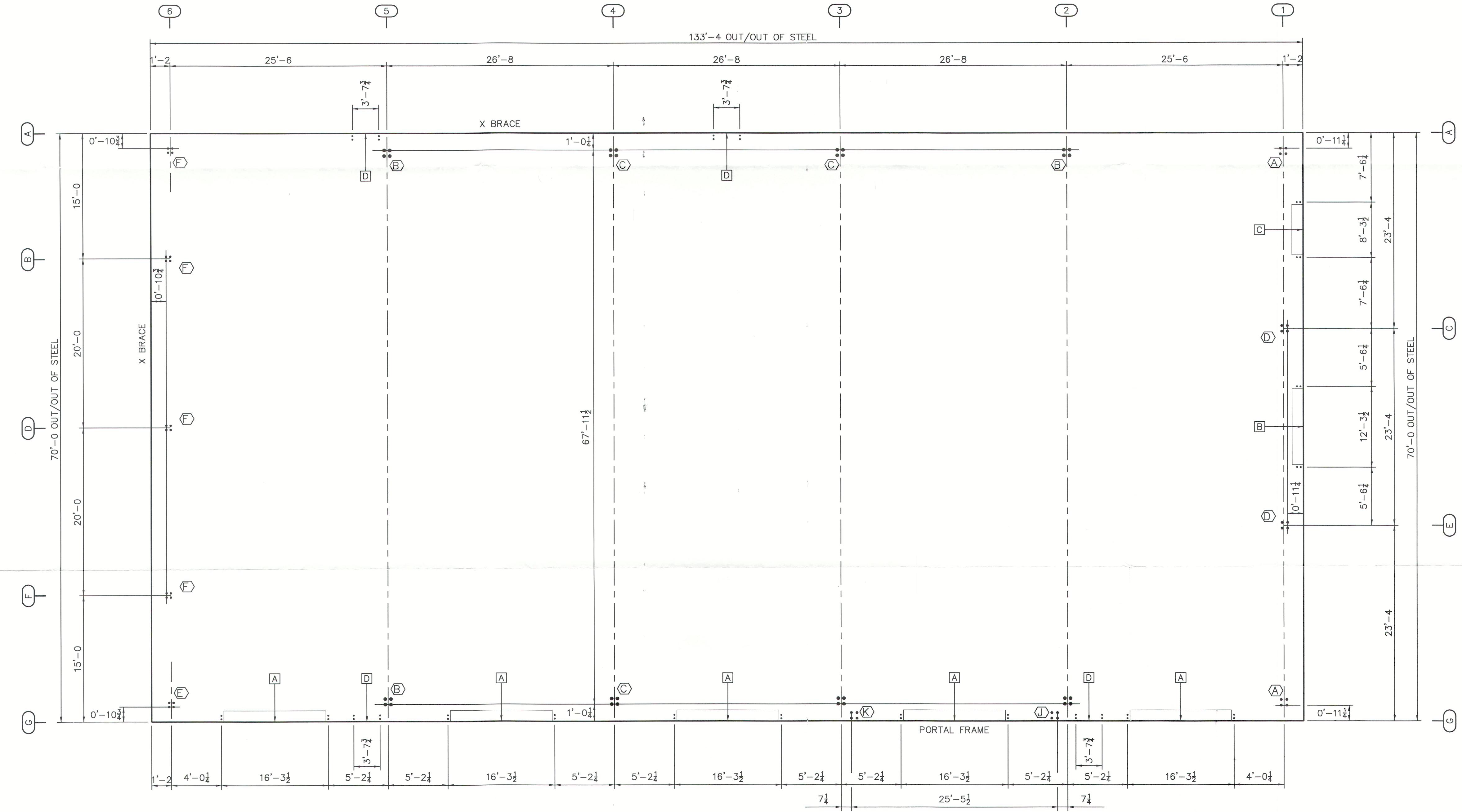
DETAILS

Michael P. DiFrancesco
MICHAEL P. DI FRANCESCO
No. 0002
REGISTERED
PROFESSIONAL ENGINEER
DES BY: JJS DATE: 07/20/20
CHK BY: BJA PROJECT NO. 2020-005

Anchor Rod Drawings

- 1) This drawing is for anchor rod placement only and is not foundation design.
- 2) Foundation must be square and level with all anchor rods true in size, location, and projection.
- 3) Projection shown must be held to keep threads clear of finished concrete.
- 4) This structural design data includes magnitude and location of design loads and support conditions, material properties, and type and size of major structural members necessary to show compliance with the Order Documents at the time of this issue. Any change to building loads or dimensions may change structural member sizes and locations shown. This structural design data will be superseded and voided by any future mailing.
- 5) Anchor rod size is determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer, and are not provided by the manufacturer.
- 6) Anchor rods are ASTM F1554 Gr. 36 material unless noted otherwise.

FINISH FLOOR AT ELEVATION 100'-0"



ACCESSORY SCHEDULE

ACCESSORY SCHEDULE				
MARK	DESCRIPTION	DETAIL	QUANTITY	UNIT
A	16'-0" X 14'-0" FRAMED OPENINGS	(G)	5	DOZ.
B	12'-0" X 16'-0" FRAMED OPENINGS	(G)	1	DOZ.
C	8'-0" X 12'-0" FRAMED OPENINGS	(G)	1	DOZ.
D	3'-4 $\frac{1}{4}$ " X 7'-2 $\frac{1}{4}$ " FRAMED OPENINGS	(H)	4	DOZ.

ANCHOR BOLTS TO BE DESIGNED
BY FOUNDATION ENGINEER USING
DIAMETERS SHOWN IN THIS TABLE

DIAMETERS SHOWN IN THIS TABLE.	
ANCHOR ROD DESCRIPTION	QUANTITY
5/8" Ø DIAMETER X	64
3/4" Ø DIAMETER X	24
1" Ø DIAMETER X	32

ANCHOR ROD SETTING PLAN

123



