

MAJOR LAND DEVELOPMENT PROJECT - MASTER PLAN
FOR
STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705

PROJECT TEAM

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1 NORTH LEXINGTON AVENUE SUITE 1575
WHITE PLAINS, NY 10601
TEL: (914) 368-9200
CONTACT: MIKE JUNGHANS, P.E.

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WHITE PLAINS, NY 10601
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CONTACT: KEVIN VAN HISE, PLA

ARCHITECT
MSSI DESIGN, LLC
8530 COBB CENTER DRIVE
KENNESAW, GA 30152
TEL: 678-773-9197
CONTACT: BEN JOHNSON

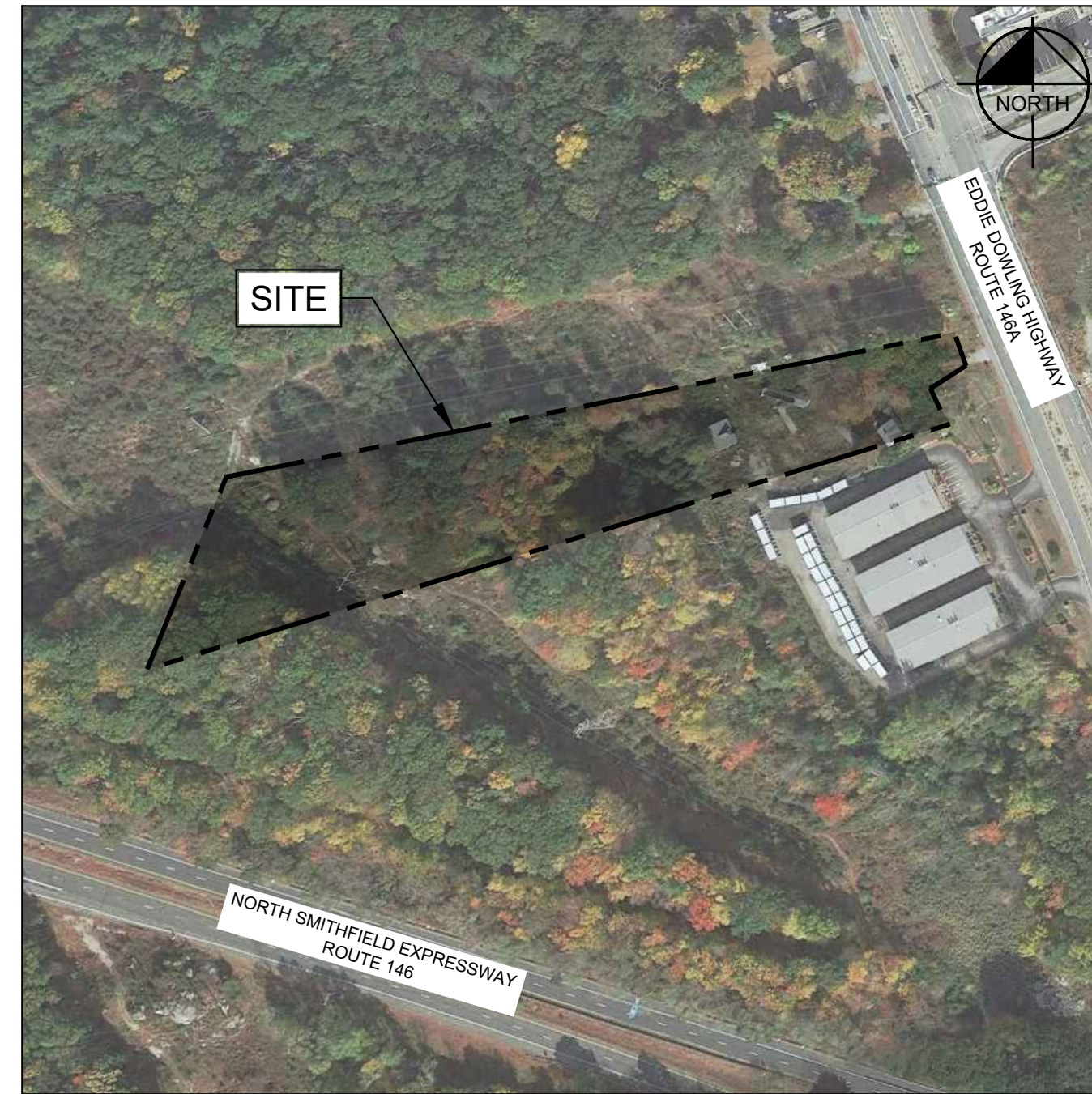
SURVEYOR
CONTROL POINT ASSOCIATES
352 TURNPIKE ROAD, SUITE 320
SOUTHBOROUGH, MA 01772
TEL: 508-948-3000 X2154
CONTACT: GERRY HOLDRIGHT, PLS

UTILITY & GOVERNING AGENCIES

ELECTRIC
NATIONAL GRID
280 MELROSE ST
PROVIDENCE, RI 02907
TEL: (800) 322-3223

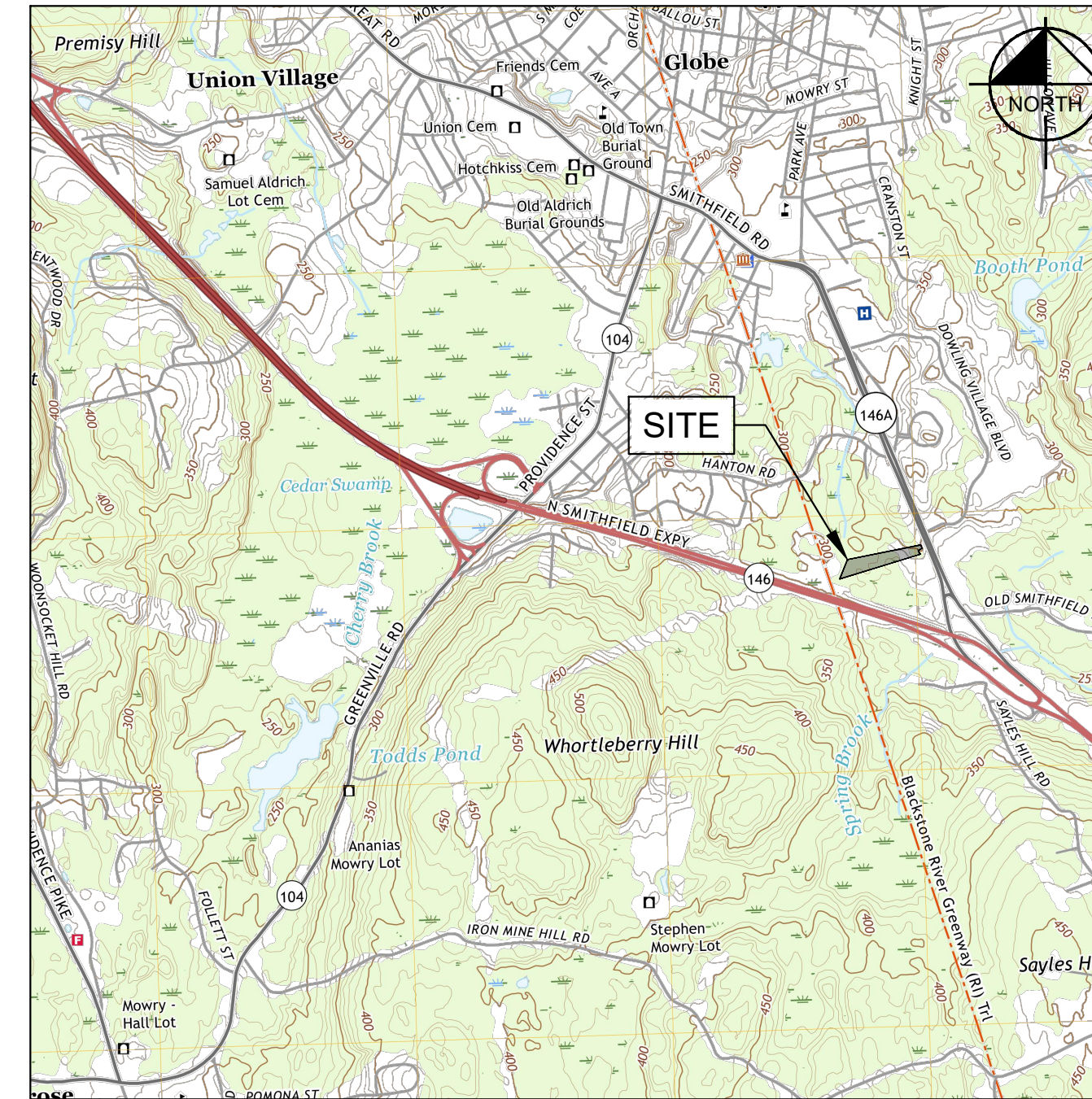
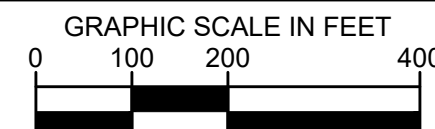
NATURAL GAS
NATIONAL GRID
280 MELROSE ST
PROVIDENCE, RI 02907
TEL: (800) 322-3223

WATER
NORTH SMITHFIELD WATER DEPARTMENT
83 GREENE STREET
NORTH SMITHFIELD, RI 02896
TEL: (401) 767-2200 EXT. 305
CONTACT: MAURA BECK



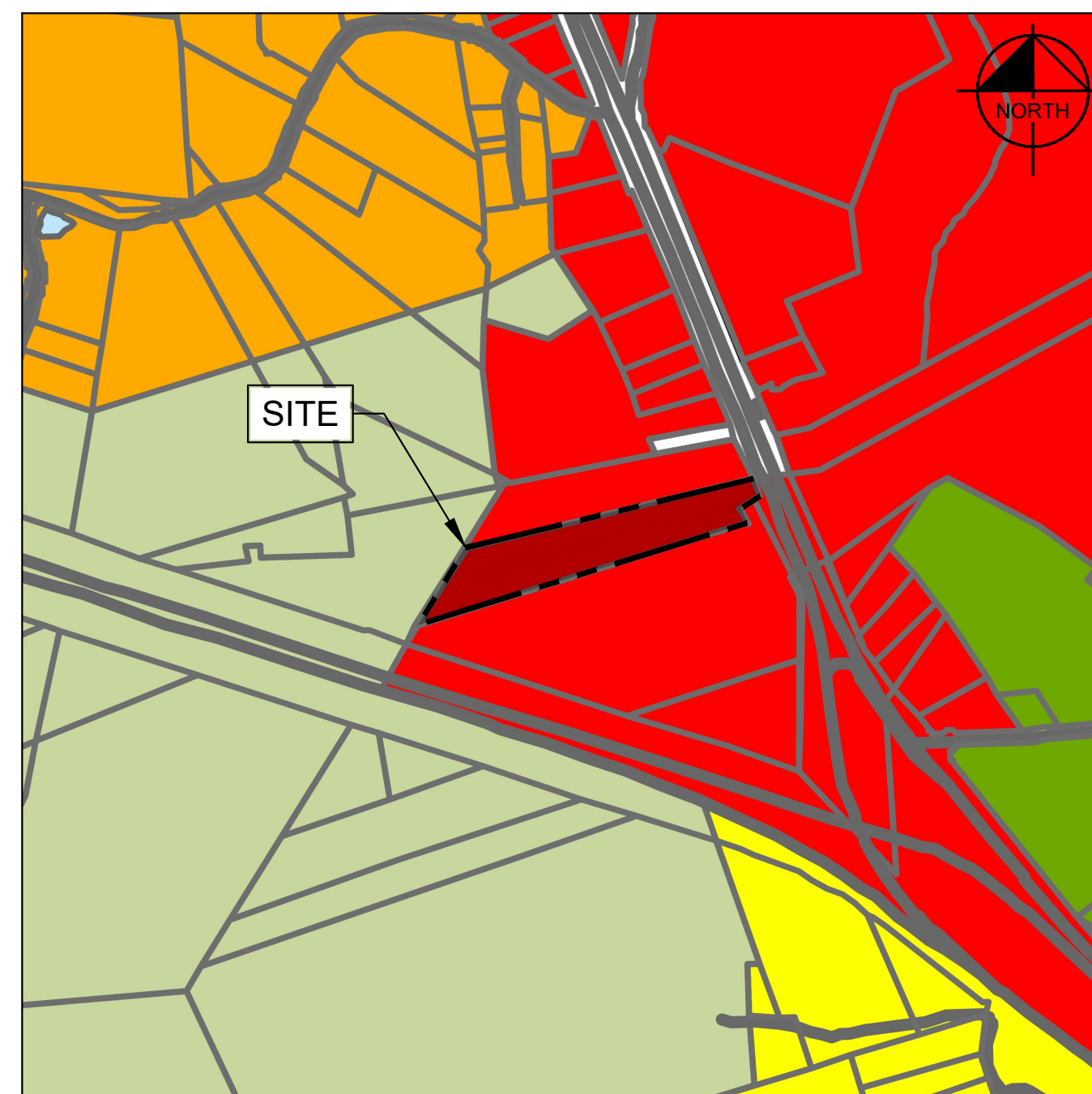
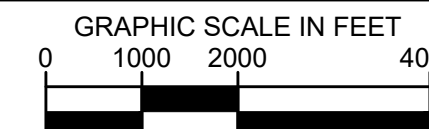
AERIAL MAP

Source: GOOGLE EARTH PRO



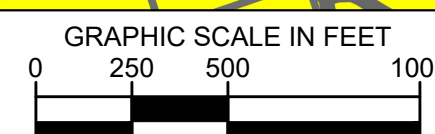
INSET LOCUS MAP

Source: USGS TOPOGRAPHIC GEORGIAVILLE QUADRANGLE MAP



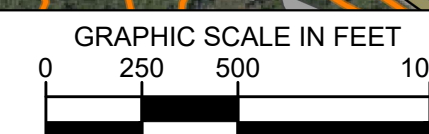
ZONING MAP

Source: TOWN OF NORTH SMITHFIELD OFFICIAL ZONING MAP, DATED 4/1/2019



SOILS MAP

Source: USDA NRCS WEB SOILS SURVEY



PROPERTY INFORMATION

APPLICANT
STORAGE RENTALS OF AMERICA
324 DATURA STREET, SUITE 338
WEST PALM BEACH, FL 33401
TEL: 561-722-4706
CONTACT: BEAU RAICH

OWNER
STORAGE RENTALS OF AMERICA
324 DATURA STREET, SUITE 338
WEST PALM BEACH, FL 33401
TEL: 561-722-4706
CONTACT: BEAU RAICH

MAP: 13
LOT: 103 & 104

PROJECT NARRATIVE

THE REDEVELOPMENT PROJECT INCLUDES THE CONSTRUCTION OF A SELF-STORAGE BUILDING ON LOT 103 TO EXPAND THE EXISTING SELF-STORAGE FACILITY ON LOT 104. REDEVELOPMENT IS CONCENTRATED IN THE EASTERN PORTION OF LOT 103, DISTURBING APPROXIMATELY 1.149 AC.

THE SCOPE OF PROPOSED WORK INCLUDES THE DEMOLITION OF EXISTING STRUCTURES ON LOT 103 AND THE CONSTRUCTION OF A 3-STORY, APPROXIMATELY 61,200 SF SELF-STORAGE BUILDING AND ASSOCIATED SITE IMPROVEMENTS. THE SCOPE OF WORK IS INTENDED TO MINIMIZE DISTURBANCE TO WETLAND BUFFERS AND OTHER SENSITIVE RESOURCES ON SITE, WHILE COMPLYING WITH THE TOWN ZONING ORDINANCE AND OTHER LOCAL REGULATIONS.

SHEET LIST

SHEET #	SHEET
C-0.0	COVER SHEET
1 OF 2	BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY & TOPOGRAPHIC SURVEY
C-1.0	GENERAL NOTES
C-2.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C-3.0	SITE AND UTILITY PLAN
C-4.0	GRADING AND DRAINAGE PLAN
C-5.0	EROSION AND SEDIMENT CONTROL PLAN
C-5.1	EROSION AND SEDIMENT CONTROL DETAILS
C-6.0	CONSTRUCTION DETAILS
C-6.1	CONSTRUCTION DETAILS

[illegible]

NOT FOR CONSTRUCTION



112573000
DATE 5/19/2022
SCALE: AS SHOWN
DESIGNED BY: TZ
DRAWN BY: TZ
CHECKED BY: KCE

COVER SHEET

AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD RHODE ISLAND

SHEET NUMBER
C-0.0

(B4) BUSINESS HIGHWAY DISTRICT SOURCE: REFERENCE #7	
ITEMS	REQUIRED
MIN LOT AREA	N/A
MIN LOT WIDTH	N/A
MIN FRONTAGE	N/A
MIN FRONT YARD	25'
MIN SIDE YARD	15'
MIN REAR YARD	30'
MAX BUILDING HEIGHT	35' / 20' *
MAX BUILDING COVERAGE	N/A
PARKING REQUIREMENTS	NONE

* 35' MAX. BUILDING HEIGHT FOR PRIMARY STRUCTURES; 20' MAX. BUILDING HEIGHT FOR ACCESSORY STRUCTURES

MAP 13
LOT 144
N/E LANDS OF
NARRAGANSETT ELEC CO
(PER GS)

OFF EDDIE DOWLING HIGHWAY

MAP 13
LOT 145
N/E LANDS OF
NARRAGANSETT ELEC CO
(PER GS)

OFF EDDIE DOWLING HIGHWAY

MAP 13
LOT 103
N/E LANDS OF
385 EDDIE, LLC
BK. 713, PG. 207

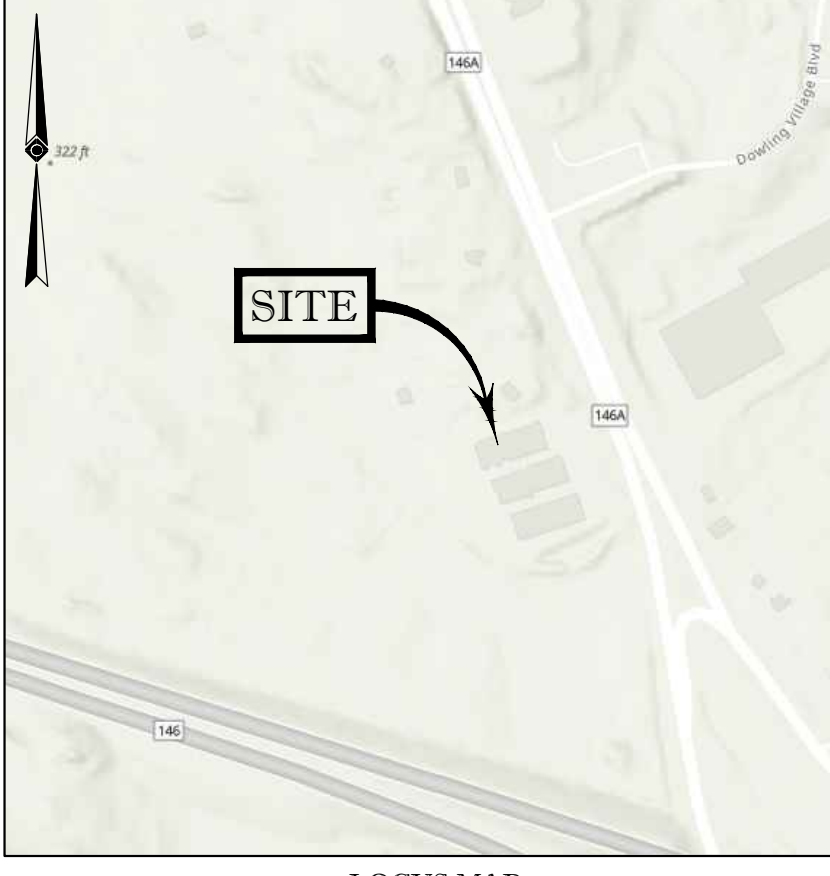
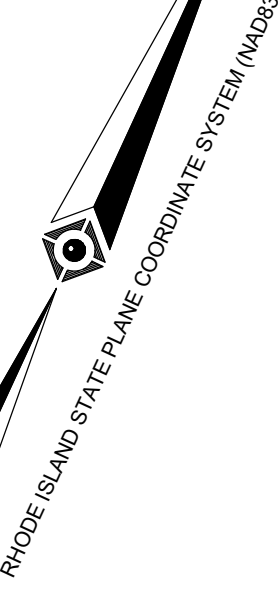
#385 EDDIE DOWLING HIGHWAY

MAP 13
LOT 104
N/E LANDS OF
STORAGE PROS NORTH
SMITHFIELD, LLC
BK. 707, PG. 22

#415 EDDIE DOWLING HIGHWAY

MAP 13
LOT 107
N/E LANDS OF
BARBARA WEST BUTTERS
(PER GS)

#0 EDDIE DOWLING HIGHWAY



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

- NOTES:
- PROPERTY KNOWN AS LOT 103 & 104 SHOWN ON THE TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND MAP NO. 13.
 - LOT 103 AREA = 165,604 SQUARE FEET OR 3.802 ACRES
LOT 104 AREA = 440,120 SQUARE FEET OR 10.104 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM.

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.

TEMPORARY BENCHMARK SET:

TBM-A- MAG NAIL SET IN ROCK ON LOT 145 AT ELEVATION = 308.62'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

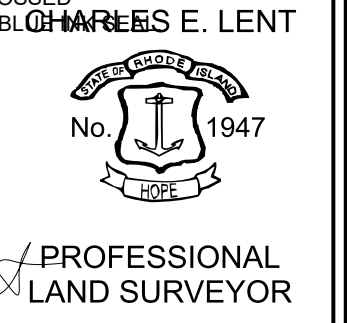
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- EASEMENT TO NARRAGANSETT ELECTRIC COMPANY SHOWN ON REFERENCED PLANS, SHOWN HEREON.
- THE LEGAL DESCRIPTION OF THE PROPERTY DESCRIBES A MATHEMATICALLY CLOSED FIGURE.
- PLANIMETRIC AND TOPOGRAPHIC FEATURES COMPILED BY CONTROL POINT ASSOCIATES, INC., UTILIZING PHOTOGRAMMETRIC METHODS FROM UAV PHOTOGRAPHY. UAV PHOTOGRAPHY PERFORMED BY CONTROL POINT ASSOCIATES, INC., ON MAY 19, 2021 WITH A PHOTO SCALE OF 0.75 CM GSD.
- PHOTOGRAMMETRIC MAPPING HAS BEEN COMPILED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN DEMONSTRATED TO COMPLY WITH THE AMERICAN SOCIETY OF PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS) CLASS 1 STANDARD FOR A HORIZONTAL MAPPING SCALE OF 1" = 40' AND A CONTOUR INTERVAL OF 1'.
- AERIAL CONTROL PROVIDED BY CONTROL POINT ASSOCIATES, INC., UTILIZING PROPELLER AEROPLOTS ON MAY 19, 2021.
- THE DELINEATION LINE SHOWN HEREON WAS TAKEN FROM INFORMATION PROVIDED BY THE CLIENT, SEE REFERENCE #10.

SEE SHEET 2 OF 2 FOR LOT DETAIL

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 48B-RIF-00-00-13 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III
(TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY T-1
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK



CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

DATE
3-08-2022

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING CONTOUR
- × 123.45 EXISTING SPOT ELEVATION
- × 10 123.45 EXISTING TOP OF CURB ELEVATION
- × G 122.95 EXISTING GUTTER ELEVATION
- × 1W 123.45 EXISTING TOP OF WALL ELEVATION
- × BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
- × 1I 123.45 EXISTING TOP OF ISLAND ELEVATION
- × BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
- × FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- × DS 123.45 EXISTING DOOR SILL ELEVATION
- × LG 125.45 EXISTING LEGAL GRADE ELEVATION
- EM ELECTRIC METER
- E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- S --- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
- T --- APPROX. LOC. UNDERGROUND TELEPHONE LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- DMH DRAINAGE/STORM MANHOLE
- EMH ELECTRIC MANHOLE
- SMH SANITARY/SEWER MANHOLE
- MH UNKNOWN MANHOLE
- WMH WATER MANHOLE
- CB CATCH BASIN OR INLET
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- INV INVERT ELEVATION
- GRV GRATE ELEVATION
- CC CONC CURB
- VENT

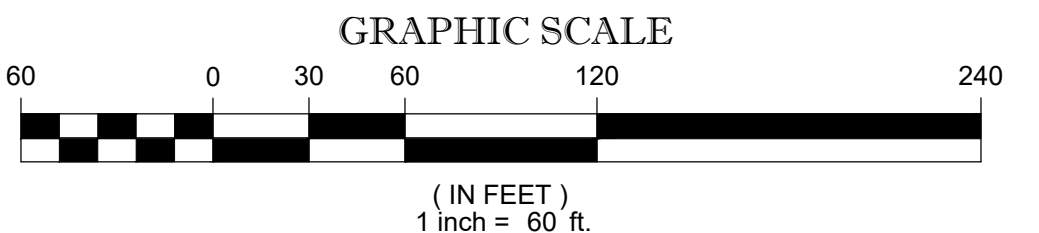
TABLE OF APPARENT ENCROACHMENTS

- THE SHED ON LOT 103 CROSSES INTO LOT 145 BY AS MUCH AS 8.2'
- THE METAL STORAGE CONTAINERS ON LOT 103 CROSS INTO LOT 145 BY AS MUCH AS 19.3'
- BUILDING OVER 15' SIDE YARD SETBACK LINE BY 12.1'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

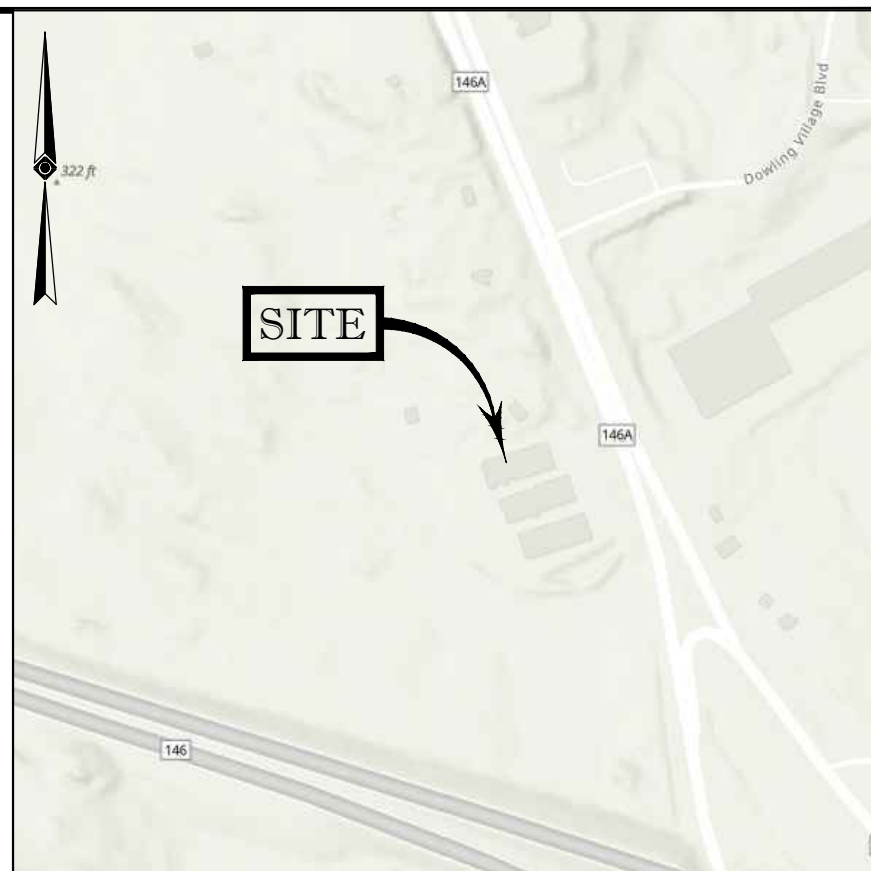
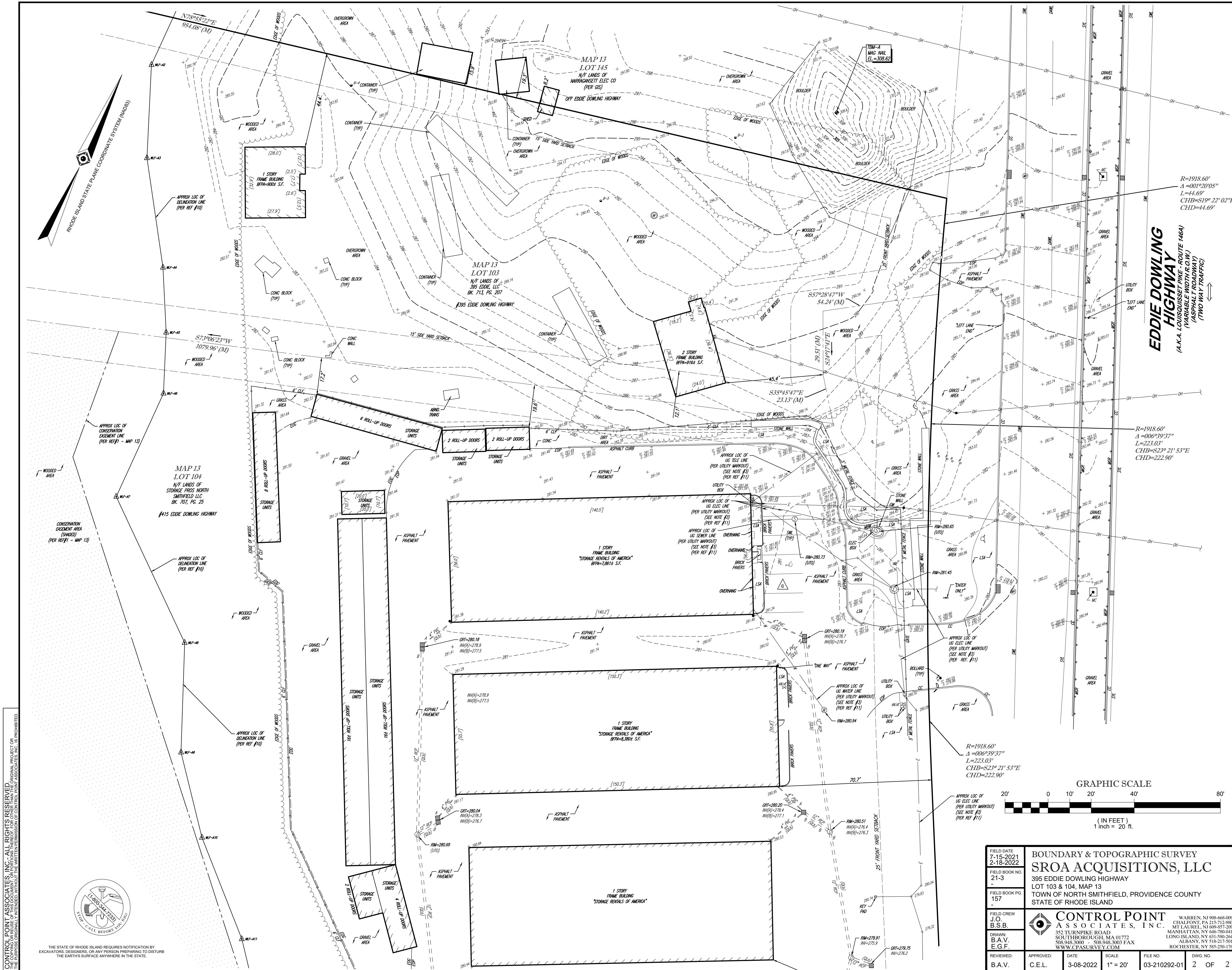
REFERENCES:

- THE TAX ASSESSOR'S MAP OF NORTH SMITHFIELD, PROVIDENCE COUNTY, MAP 12 & 13.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM FIRM, FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 157 OF 451, MAP NUMBER 44007C0157G, EFFECTIVE DATE: MARCH 2, 2009.
- MAP ENTITLED "PLAN OF LAND IN NO. SMITHFIELD, RHODE ISLAND TO BE PURCHASED BY: BLACKSTONE VALLEY ELECTRIC COMPANY FROM IRENE B WEST, PAUL C WEST & LUCILLE C WEST", PREPARED BY: SCHOFIELD BROTHERS, INC., DATED: APRIL 15, 1971, ON FILE WITH THE CITY CLERK'S OFFICE AS PLAT 9330X.
- MAP ENTITLED "ADMINISTRATIVE SUBDIVISION PLAN OF LAND PLAT 13 LOTS 10, 104, 106 & 136 EDDIE DOWLING HIGHWAY NORTH SMITHFIELD, RHODE ISLAND", PREPARED BY: GUERRIERE & HALNON, INC., DATED: APRIL 28, 2004, ON FILE WITH THE CITY CLERK'S OFFICE.
- PLAN SET ENTITLED "PLAT SHOWING LAND IN NORTH SMITHFIELD TAKEN IN FEE SIMPLE FOR FREEWAY PURPOSES ON BEHALF OF THE STATE OF RHODE ISLAND & PROVIDENCE PLANTATIONS BY THE DIRECTOR OF PUBLIC WORKS", DATED: JULY 1958, ON FILE WITH THE DEPARTMENT OF TRANSPORTATION AS PLAT 1033.
- MAP ENTITLED "PLAT SHOWING LAND IN NORTH SMITHFIELD - WOONSOCKET TAKEN ON BEHALF OF THE STATE OF RHODE ISLAND BY VOTE AND ORDER OF DEPARTMENT OF PUBLIC WORKS", DATED: OCTOBER 18, 1939, ON FILE WITH THE DEPARTMENT OF TRANSPORTATION AS PLAT 641.
- REPORT ENTITLED "ZONING COMPLIANCE REPORT PREPARED FOR SROA CAPITAL, 385 EDDIE, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY", PREPARED BY: CDS COMMERCIAL DUE DILIGENCE SERVICES, DATED AUGUST 20, 2021.
- PLAN SET ENTITLED "08-210688-00-CPA-390EDDIEDOWLINGHWY-NSMITHFIELD-R", PREPARED BY: CONTROL POINT ASSOCIATES, INC., DATED: DECEMBER 20, 2021.
- MAP ENTITLED "NEW ENGLAND SELF STORAGE, LLC MODIFICATION EXISTING CONDITIONS IN THE TOWN OF NORTH SMITHFIELD, RHODE ISLAND", PREPARED BY: GUERRIERE & HALNON, INC., DATED: JUNE 3, 2003, LAST REVISED: OCTOBER 2, 2006, PROVIDED BY CLIENT.
- ELECTRONIC SHAPE FILES OF WETLAND DELINEATION LINE PROVIDED BY CLIENT.
- FIELD SKETCH PREPARED BY CONTROL POINT ASSOCIATES, INC., SUBSURFACE UTILITY ENGINEERING, DATED DECEMBER 20, 2021.



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

FIELD DATE 7-15-2021 2-18-2022		BOUNDARY & TOPOGRAPHIC SURVEY SROA ACQUISITIONS, LLC	
FIELD BOOK NO. 21-3		395 EDDIE DOWLING HIGHWAY LOT 103 & 104, MAP 13	
FIELD BOOK PG. 157		TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY STATE OF RHODE ISLAND	
FIELD CREW J.O. B.S.B.		CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM	
DRAWN: B.A.V. E.G.F.		WARREN, NJ 908-668-0099 CHALFONTE, PA 215-712-9800 MT LAUREL, NJ 609-857-2099 MANHATTAN, NY 646-780-0411 LONG ISLAND, NY 631-580-2645 ALBANY, NY 518-217-5010 ROCHESTER, NY 585-250-1764	
REVISED:	APPROVED:	DATE	SCALE
B.A.V.	C.E.L.	3-08-2022	1" = 60'
FILE NO.		DWG. NO.	
03-210292-01		1	OF 2



LEGEND	
---	EXISTING CONTOUR
x 123.45	EXISTING SPOT ELEVATION
x TC 123.45	EXISTING TOP OF CURB ELEVATION
x G 123.95	EXISTING GUTTER ELEVATION
x TW 123.45	EXISTING TOP OF WALL ELEVATION
x BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
x FF 123.45	EXISTING FINISHED FLOOR ELEVATION
x DS 123.45	EXISTING DOOR SILL ELEVATION
EM	ELEC METER
OH	OVERHEAD WIRES
D	APPROX. LOC. UNDERGROUND DRAINAGE LINE
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
C	APPROX. LOC. UNDERGROUND CABLE LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
UP	UTILITY POLE
+	SIGN
MB	MAIL BOX
B	BOLLARD
P	POST
MH	UNKNOWN MANHOLE
CB	CATCH BASIN OR INLET
WMH	WATER MANHOLE
DMH	DRAINAGE/STORM MANHOLE
EMH	ELECTRIC MANHOLE
SMH	SANITARY/SEWER MANHOLE
SW	STONE WALL
MGR	METAL GUARD RAIL
CLF	CHAIN LINK FENCE
MBW	MASONRY BLOCK WALL
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
SW	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
BLDG	BUILDING
BTPA	BUILDING FOOTPRINT AREA
[16.0']	BUILDING DIMENSION
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
[]	DESIGNATES POSSIBLE ENCROACHMENT

SEE SHEET 1 FOR OVERALL BOUNDARY

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 45R-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 AS FOLLOWS:

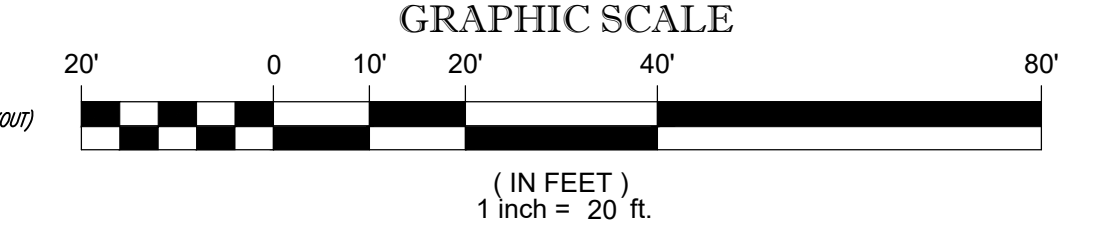
1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY
2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III
(PLANIMETRIC SURVEY, TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY T-1
3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
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CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350
DATE 3-08-2022

FIELD DATE 7-15-2021 2-18-2022	BOUNDARY & TOPOGRAPHIC SURVEY SROA ACQUISITIONS, LLC 395 EDDIE DOWLING HIGHWAY LOT 103 & 104, MAP 13 TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY STATE OF RHODE ISLAND
FIELD BOOK NO 21-3	
FIELD BOOK PGS 157	
FIELD CREW J.O. B.S.B.	CONTROL POINT ASSOCIATES, INC. WARREN, NJ 908-668-0099 CHALFONTE, PA 215-713-9800 MANHATTAN, NY 609-857-2099 352 TURNPIKE ROAD SOUTH BROOKFIELD, MA 01772 508-948-3000 - 508-948-3003 FAX WWW.CPASURVEY.COM
DRAWN: B.A.V. E.G.F.	
REVIEWED: B.A.V.	APPROVED: C.E.L.
DATE 3-08-2022	SCALE 1" = 20'
FILE NO. 03-210292-01	DWG. NO. 2 OF 2



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GENERAL CONSTRUCTION NOTES

1.

THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
2.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3.

EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVING BEEN PREVIOUSLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5.

THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
6.

THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7.

ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8.

DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A RI LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.
9.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF RHODE ISLAND PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11.

ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
12.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY THE OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
13.

ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IN THE EVENT OF AN INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF A PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
14.

WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS AND OLD UTILITY SYSTEMS, SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, UTILITIES, UTILITY STRUCTURES, ASPHALT AND CONCRETE PAVEMENT, CONCRETE PAVERS, CONCRETE AND GRANITE CURBING, DRIVEWAY APRONS, CONCRETE AND ASPHALT RAMPS, SIDEWALKS, FENCING, RAILINGS, SIGNAGE, SITE LIGHTING, RETAINING WALLS AND MISCELLANEOUS STRUCTURES.
15.

HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF NORTH SMITHFIELD CODE.
16.

PRIOR STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
17.

INFORMATION GIVEN IN THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL ENGINEERING REPORTS WAS OBTAINED FOR USE BY THE OWNER IN EXECUTION OF DESIGN. THE SUBSURFACE CONDITIONS DESCRIBED IN THE REPORTS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. THE SUBSURFACE STRATIGRAPHY SHOWN IN THE REPORTS ARE BASED ON NECESSARY INTERPOLATIONS BETWEEN BORINGS AND MAY OR MAY NOT REPRESENT ACTUAL SUBSURFACE CONDITIONS. THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS MADE FROM THE DATA IN THE REPORTS BY THE CONTRACTOR.
18.

CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITE/CIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF NORTH SMITHFIELD.
19.

ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNERS USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.
20.

PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
21.

MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
22.

DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.
23.

IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.
24.

REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.
25.

THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
26.

PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
27.

EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
28.

DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
29.

PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
30.

PROVIDE AT LEAST SEVENTY-TWO (72) HOURS' NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
31.

TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
32.

PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
33.

PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
34.

PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
35.

PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS OR OTHER CONSTRUCTION ACTIVITY.
36.

GENERAL: DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK, COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
37.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

38.

MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
39.

LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND OTHER MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING OF ADJOINING STRUCTURES.
40.

ENGINEERING SURVEYS: PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS THAT MAY RESULT FROM BUILDING DEMOLITION ACTIVITIES.
41.

SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
42.

DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
43.

USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT, COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS, DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
44.

REMOVE STRUCTURES AND OTHER SITE IMPROVEMENTS INTACT WHEN PERMITTED BY AUTHORITIES HAVING JURISDICTION.
45.

CONCRETE: CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.
46.

MASONRY: CUT MASONRY AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.
47.

CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, THEN BREAK UP AND REMOVE.
48.

EQUIPMENT: DISCONNECT EQUIPMENT AT NEAREST FITTING CONNECTION TO SERVICES, COMPLETE WITH SERVICE VALVES. REMOVE AS WHOLE UNITS, COMPLETE WITH CONTROLS.
49.

BELOW-GRADE CONSTRUCTION: DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION THAT IS WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA.
50.

REMOVE BELOW-GRADE CONSTRUCTION TO DEPTHS INDICATED ON THE PLANS.
51.

EXISTING BELOW GRADE CONSTRUCTION SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND THEIR ZONES OF INFLUENCE. IF DETERMINED BY LINES EXTENDING AT LEAST ONE (1) FOOT LATERALLY BEYOND FOOTING EDGES FOR EACH VERTICAL FOOT OF DEPTH) AND EXCAVATED TO AT LEAST TWO (2) FEET BELOW PROPOSED CONSTRUCTION SUBGRADE LEVELS ELSEWHERE.
52.

FOUNDATION AND SLABS MAY REMAIN IN PLACE BELOW THESE DEPTHS BELOW GROUND SUPPORTED SLABS, PAVEMENTS AND LANDSCAPED AREAS, PROVIDED THEY ARE APPROVED BY THE GEOTECHNICAL ENGINEER AND DO NOT INTERFERE WITH FUTURE CONSTRUCTION (INCLUDING UTILITIES); HOWEVER, IF EXISTING SLAB OR STRUCTURE TO REMAIN SHOULD BE THOROUGHLY BROKEN TO ALLOW VERTICAL DRAINAGE OF INFILTRATING WATER.
53.

EXISTING UTILITIES: ABANDON EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES. CUT UTILITIES FLUSH WITH GRADE.
54.

EXISTING UTILITIES: DEMOLISH EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES THAT ARE WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON UTILITIES OUTSIDE THIS AREA.
55.

FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
56.

EXISTING UTILITIES: DEMOLISH AND REMOVE EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES.
57.

SITE DRAINAGE: SITE SOILS MAY SOFTEN WHEN EXPOSED TO WATER. EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER AWAY FROM CONSTRUCTION AREAS AND OPEN EXCAVATIONS BY GRADINGS AND LIMITING THE EXPOSURE OF EXCAVATIONS AND PREPARED SUBGRADES TO RAINFALL.
58.

BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR GEOTECHNICAL ENGINEER.
59.

SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
60.

SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE.
61.

PROVIDE CONTAINERS OR OTHER STORAGE METHOD APPROVED BY ARCHITECT FOR CONTROLLING RECYCLABLE MATERIALS UNTIL THEY ARE REMOVED FROM PROJECT SITE.
62.

STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
63.

STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.
64.

IF RECYCLABLE MATERIAL CANNOT BE USED ON-SITE, THE CONTRACTOR SHALL TRANSPORT THE RECYCLABLE MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE SWP.
65.

DEMOLITION MATERIAL, FREE OF ENVIRONMENTAL CONCERNS, AND APPROVED BY RIDEM, MAY BE USED AS FILL MATERIAL. PROVIDED THE MATERIAL IS PROPERLY SEGREGATED AND PROCESSED AS FOLLOWS AND APPROVED FOR REUSE ON THE SITE BY THE GEOTECHNICAL ENGINEER.
66.

CONCRETE MASONRY MATERIALS SHOULD BE CRUSHED TO A WELL GRADED BLEND WITH A MAXIMUM SIZE OF THREE (3) INCHES IN DIAMETER, PER EARTHWORK SPECIFICATIONS.
67.

MILLED OR RECYCLED ASPHALT PAVEMENT (RAP) MAY BE REUSED AS GRANULAR BASE MATERIAL FOR PAVEMENTS PROVIDED THAT THE RAP PARTICLE SIZE MEETS THE RHODE ISLAND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRANULAR BASE AND NO MORE THAN FIFTY (50) PERCENT OF THE PAVEMENT GRANULAR BASE CONTAINS RAP.
68.

OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
69.

EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNERS PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
70.

REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
71.

BURNING: ON SITE BURNING OF RUBBISH AND OTHER DEMOLITION DEBRIS WILL NOT BE PERMITTED.
72.

DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNERS PROPERTY AND PROVIDE FOR THE LEGAL OFF SITE DISPOSAL OF THE MATERIAL IN ACCORDANCE WITH THE SMP.
73.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
74.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A SURVEY PREPARED BY A RI LICENSED LAND SURVEYOR SHOWING THE LOCATION AND THE ELEVATIONS TO WHICH THE DEMARCATION BARRIER IS INSTALLED.
75.

THE CONTRACTOR IS TO NOTE THAT THE WORK OF THIS CONTRACT WILL INCLUDE WORK BY OTHERS AND THE CONTRACTOR SHALL COORDINATE HIS WORK AND MAKE EVERY REASONABLE EFFORT TO PERMIT THE EXECUTION OF SUCH WORK BY OTHERS WITHOUT DELAY.
76.

IF TEMPORARY UTILITY SERVICES ARE REQUIRED THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THEIR WORK.
77.

ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF NORTH SMITHFIELD BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.
78.

ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF RHODE ISLAND STATE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL RULES, LAWS, AND REGULATIONS.
79.

ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF RHODE ISLAND.
80.

SIZES OF EXISTING UTILITY LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.
79.

THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
98.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN ALL REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH RHODE ISLAND STATE LAW (CODE RULE 53) SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-462-7962 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
99.

SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS WHILE THE WORK IS PROGRESSING. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
100.

ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE RIDEM APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.

101.

EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS CONTRACT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.
102.

UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL MATCH THE MATERIALS, TYPES, THICKNESS AND QUALITY OF EXISTING BITUMINOUS CONCRETE PAVEMENTS, WALKWAYS AND CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE TO BE REPLACED.
103.

ASA REFERENCE STANDARD ALL WORK CONTAINED HEREIN SHALL BE GOVERNED BY THE REQUIREMENTS SET FORTH IN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS" AS PUBLISHED BY THE RIDOT, DESIGN AND CONSTRUCTION DIVISION, DATED JANUARY 2, 2002, INCLUDING ALL LATEST AMENDMENTS THERETO
104.

AT NO TIME SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
105.

WITH REGARD TO EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.
106.

CONTRACTOR SHALL REVIEW PLANS FROM SITE PREPARATION AND SITE PACKAGE CONTRACT AND FAMILIARIZE THEMSELVES WITH PREVIOUS SCOPE OF WORK.
107.

CONTRACTOR SHALL LIMIT ACTIVITIES IN AREAS OF DEVELOPMENT THAT ARE OCCUPIED.

PAVING, GRADING AND DRAINAGE NOTES

1.

CONTRACTOR SHALL MAINTAIN GRADES AT ENTRANCES TO PHASE 2 CONSTRUCTION.
2.

ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONS RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION AND STANDARDS (LATEST EDITION) OR RHODE ISLAND STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
3.

ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
4.

TRAFFIC CONTROL ON ALL RIDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
5.

THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
6.

ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH TOPSOIL AND SEED AS INDICATED ON THE LANDSCAPE PLAN.
7.

ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
8.

WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9.

WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
10.

THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
11.

DEWATERING DISCHARGE WILL NOT BE PERMITTED TO DISCHARGE ONTO OPEN GROUND. IT SHALL BE TREATED AND DISCHARGED INTO THE COUNTY SEWER. PERMIT TO BE COORDINATED BY THE OWNER.
12.

STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
13.

FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
14.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE COVERED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
15.

ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
16.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISINGS AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
17.

THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
18.

EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
19.

THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
20.

THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
21.

THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

BUILDING AND SAFETY DIVISION NOTES

1.

FILL TO BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.
2.

FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1558-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/2017. IN FINE GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2937 A.S.T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
3.

NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
4.

NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.
5.

NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
6.

FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.
7.

SEE GRADING PLANS FOR EARTHWORK VOLUMES.
8.

FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
9.

DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
10.

ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1% TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.
11.

APPROVAL OF THIS PLAN BY THE TOWN OF NORTH SMITHFIELD DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.
12.

FILLS SHALL BE BENCHMARKED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT
13.

ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
14.

ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
15.

WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
16.

THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
17.

THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
18.

SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

INFILTRATION NOTES

SUBGRADE PREPARATION

1.

EXISTING SUBGRADE UNDER BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND RETENTION LAYER PLACEMENT.
2.

CONTRACTOR SHALL DETERMINE SUBGRADE PERMEABILITY IN ACCORDANCE WITH ASTM D 3385 BEFORE CONCRETE PLACEMENT. CONTRACTOR SHALL PROVIDE PERMEABILITY TESTING FOR SUBGRADE TO CONFIRM THAT SUBGRADE PERMEABILITY MEETS REQUIREMENTS OF CONTRACT DOCUMENTS.
3.

CONTRACTOR SHALL PREPARE SUBGRADE AS SPECIFIED IN THE CONTRACT DOCUMENTS, INSURING THE BOTTOM OF THE RETENTION LAYER IS AT LEVEL GRADE.
4.

CONTRACTOR SHALL KEEP ALL TRAFFIC OFF OF THE SUBGRADE DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICAL. CONTRACTOR SHALL REGRADE AND RECOMPACT SUBGRADE DISTURBED BY RETENTION LAYER DELIVERY VEHICLES OR OTHER CONSTRUCTION TRAFFIC, AS NEEDED.
5.

CONTRACTOR SHALL CONSTRUCT SUBGRADE TO ENSURE THAT THE REQUIRED PAVEMENT THICKNESS IS OBTAINED IN ALL LOCATIONS.
6.

CONTRACTOR SHALL SCARIFY SUBGRADE TO A MINIMUM DEPTH OF TWELVE (12) INCHES PRIOR TO PLACING THE NON-WOVEN GEOTEXTILE MATERIAL.

RETENTION LAYER NOTES

1.

WHERE SPECIFIED, CONTRACTOR SHALL PREPARE RETENTION LAYER IN ACCORDANCE WITH CONTRACT DOCUMENTS.
2.

THE NON-WOVEN GEOTEXTILE AND RETENTION LAYER AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT WHICH HAS TAKEN PLACE AFTER APPROVAL OF SUBGRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF GEOTEXTILE AT NO EXTRA COST TO THE OWNER.
3.

PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHALL OVERLAP A MINIMUM OF SIXTEEN INCHES (16"). SECURE GEOTEXTILE AT LEAST FOUR FEET (4') OUTSIDE OF BED AND TAKE ANY STEPS NECESSARY TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE RETENTION LAYER.
4.

INSTALL COARSE AGGREGATE IN 8-INCH MAXIMUM LIFTS. AGGREGATE SHALL MEET THE REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER RETENTION LAYER AND SUBGRADE TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED IN THE CONTRACT DOCUMENTS.
5.

CONSTRUCT RETENTION LAYER TO ENSURE THAT THE REQUIRED PAVEMENT THICKNESS IS OBTAINED IN ALL LOCATIONS.
6.

FOLLOWING PLACEMENT OF RETENTION LAYER AGGREGATE, THE GEOTEXTILE SHALL BE FOLDED BACK ALONG ALL BED EDGES TO PROTECT FROM SEDIMENT WASHOUT ALONG RETENTION LAYER EDGES. AT LEAST A FOUR (4) FOOT EDGE STRIP SHALL BE USED TO PROTECT BEDS FROM ADJACENT BARE SOIL. THIS EDGE STRIP SHALL REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. IN ADDITION, TAKE ANY OTHER NECESSARY STEPS TO PREVENT SEDIMENT FROM WASHING OR TRACKING INTO BEDS DURING SITE DEVELOPMENT. WHEN THE SITE IS FULLY STABILIZED, TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE REMOVED.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1.

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
3.

SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4.

THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5.

THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6.

OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7.

ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

WATER AND SEWER UTILITY NOTES

1.

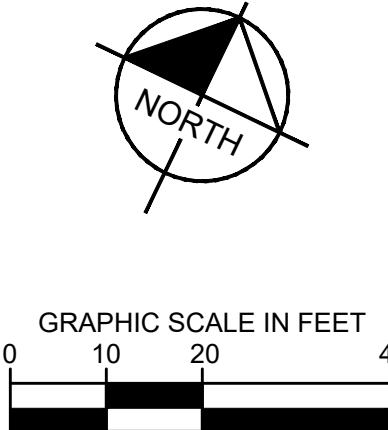
THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 2



LEGEND

- PROPERTY LINE
- EXISTING FEATURE TO BE REMOVED OR RELOCATED
- EXISTING FEATURE TO REMAIN
- REMOVAL OF EXISTING STRUCTURE
- REMOVAL OF EXISTING WOODED AREA

- EXISTING CONDITIONS NOTES**
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED AND PREPARED BY CONTROL POINT ASSOCIATES DATED JANUARY, 28, 2022.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS. ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
 - ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.
 - RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
 - TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
 - CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
 - THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 44007C0157G.
 - CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.



NO.	REVISIONS	DATE	BY

NOT FOR CONSTRUCTION

Kimley-Horn

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STORAGE
Rentals of America

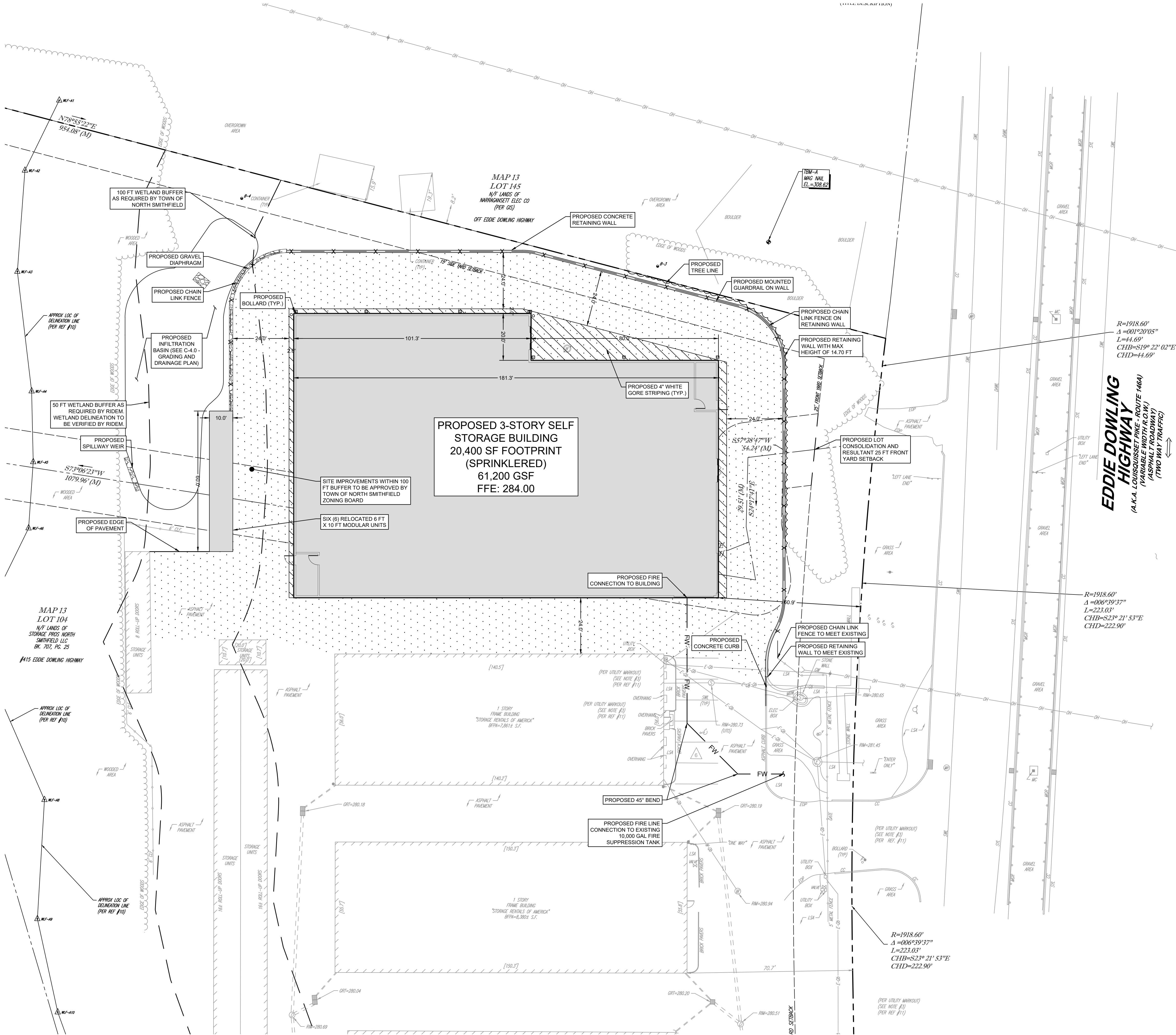
MICHAEL W. JUNGHAUS
REGISTERED PROFESSIONAL ENGINEER

KHA PROJECT	112573000
DATE	5/19/2022
SCALE:	AS SHOWN
DESIGNED BY:	TZ
DRAWN BY:	TZ
CHECKED BY:	KCE

EXISTING CONDITIONS AND DEMOLITION PLAN

STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 02805
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD RHODE ISLAND

SHEET NUMBER
C-2.0



LEGEND	
	BUILDING
	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
	STONE GRAVEL
	CHAIN LINK FENCE
	CONCRETE CURB

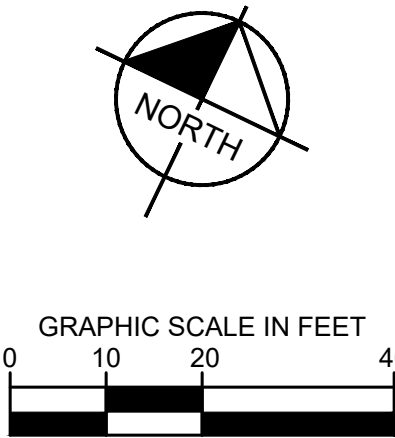
ZONING REQUIREMENTS			
ZONING DISTRICT	BUSINESS HIGHWAY - BH		
EXISTING USE	VACANT		
PROPOSED USE	SELF STORAGE FACILITY		
	REQUIRED	EXISTING	PROPOSED
FRONT YARD SETBACK	25 FT	46.7 FT	62.4 FT
SIDE YARD SETBACK	15 FT	1.8 FT	30 FT
MAX. FLOOR AREA RATIO*	0.250	0.069	0.163
MAX. BUILDING HEIGHT	35 FT	< 35 FT	TBD

* THE FLOOR AREA RATIO CALCULATIONS ARE BASED ON A CONSOLIDATED LOTS 103 AND 104.

PARKING REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
PARKING STALL MIN. DIMENSIONS	9 FT X 18 FT	9 FT X 18 FT	NO CHANGE
PARKING REQUIRED FOR INDUSTRIAL USES	2 PARKING SPACES PER 3 EMPLOYEES BASED ON LARGEST SHIFT = 6 SPACES	6 SPACES	NO CHANGE
MIN. AISLE WIDTH	24 FT	20 FT (EN)	24 FT

EN - EXISTING NON-CONFORMITY

SITE NOTES	
1. SEE SHEET C-1.0 FOR GENERAL NOTES.	
2. ALL WALLS GREATER THAN 30" IN HEIGHT TO BE DESIGNED AND PERMITTED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF RHODE ISLAND.	



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STORAGE
Rentals of America

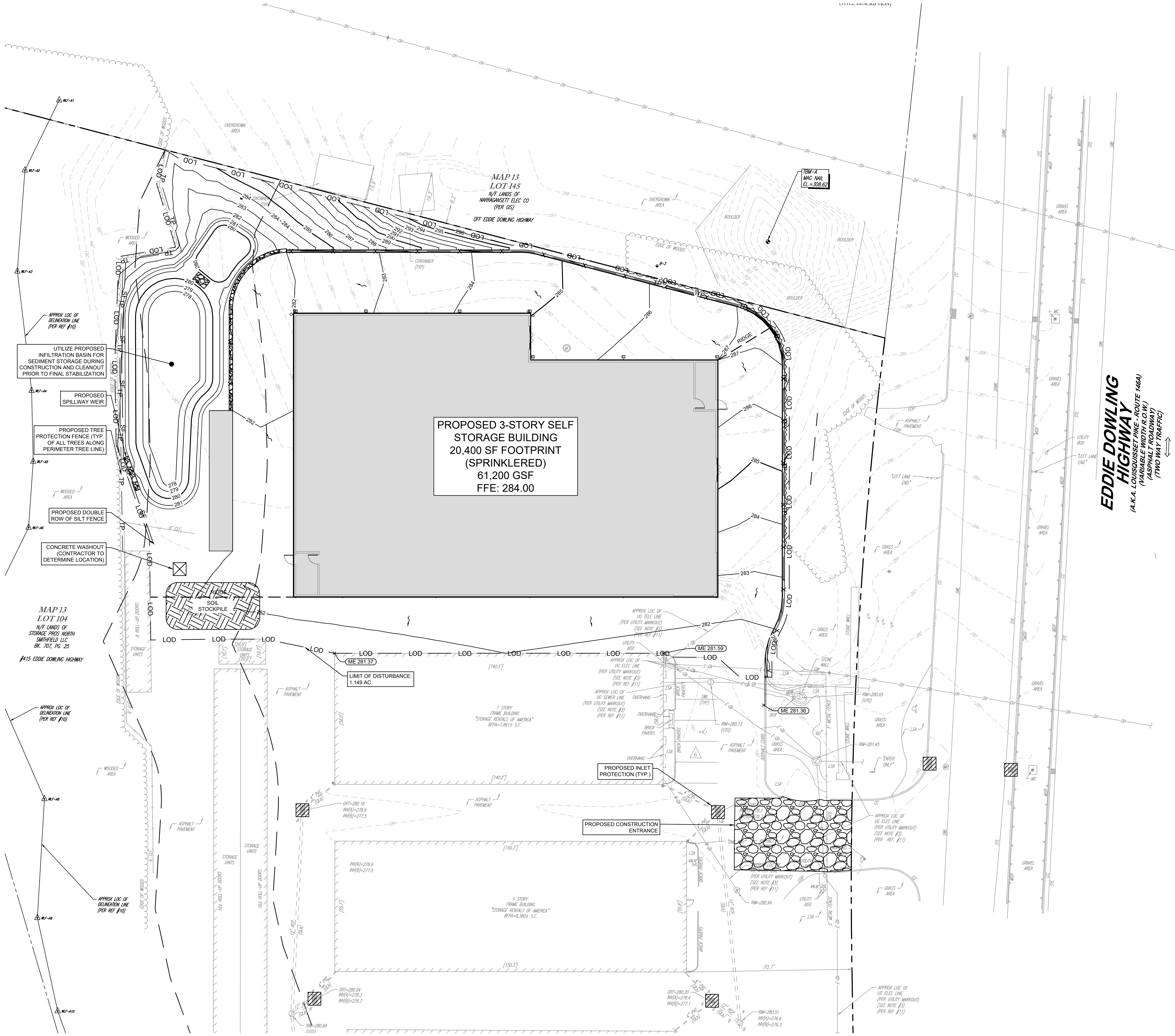
MICHAEL W. JUNGHANS
7070
REGISTERED
PROFESSIONAL ENGINEER

RHA PROJECT	112573000
DATE	5/19/2022
SCALE	AS SHOWN
DESIGNED BY:	TZ
DRAWN BY:	TZ
CHECKED BY:	KCE

SITE AND UTILITY
PLAN

STORAGE RENTALS OF
AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 02705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD
RHODE ISLAND

SHEET NUMBER
C-3.0



NO.	REVISIONS	BY	DATE

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MICHAEL W. JUNGHAUS
REGISTERED PROFESSIONAL ENGINEER
No. 7070

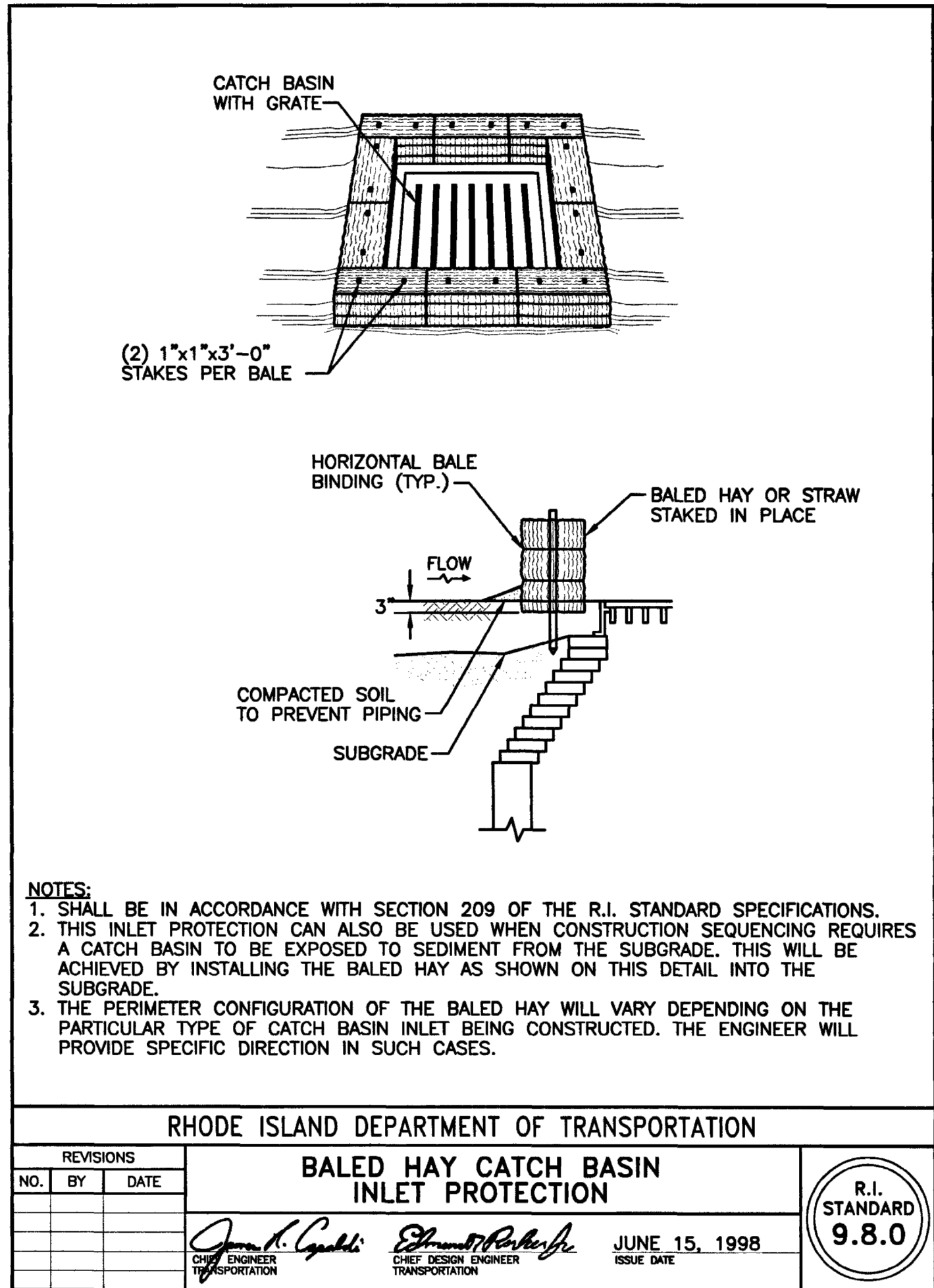
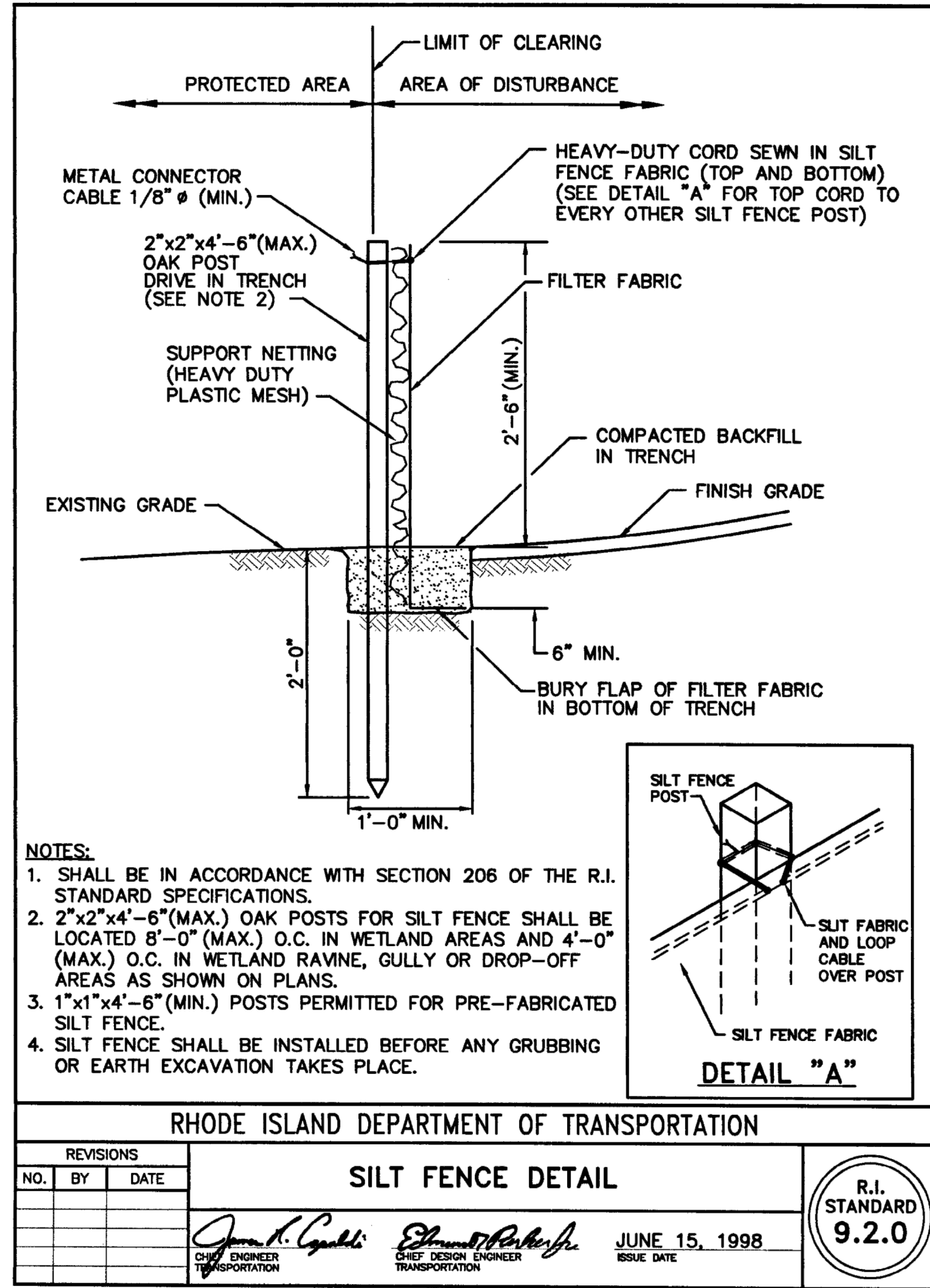
KHA PROJECT	112573000
DATE	5/19/2022
SCALE:	AS SHOWN
DESIGNED BY:	TZ
DRAWN BY:	TZ
CHECKED BY:	KCE

EROSION AND SEDIMENT CONTROL PLAN

STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 02705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD RHODE ISLAND

SHEET NUMBER
C-5.0

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Krimley-Horn Engineering and Landscape Architecture of New York, P.C. shall be without liability to Krimley-Horn Engineering and Landscape Architecture of New York, P.C.



EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES

- A. ALL EROSION MEASURES SHALL BE INSTALLED AND MAINTAINED PER RHODE ISLAND STATE SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, DATED 2016, OR LATEST REVISION THEREOF.
- B. THE OWNER/APPRAISER MUST ENSURE THAT TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL FEATURES ARE DESIGNED, INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT, IN ORDER TO PREVENT SOIL DISTURBANCES FROM CONSTRUCTION OPERATIONS FROM HAVING A NEGATIVE OR ADVERSE EFFECT TO ADJACENT PROPERTIES.
- C. ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
- D. TEMPORARY SEDIMENT TRAPPING EAS CONTROLS ARE NOT TO BE REMOVED UNTIL PERMANENT STABILIZATION (80% UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCH/STONE) IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS PER RHODE ISLAND STATE SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, DATED 2016, OR LATEST REVISION THEREOF.

QUALITY ASSURANCE

A. GENERAL

1. INSTALL AND MAINTAIN IN COMPLIANCE WITH THE RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, RETAIN A COPY OF THE PROJECT'S NOTICE OF INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POST IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF NOTICE OF TERMINATION (NOT) SUBMISSION.
2. INSTALL ALL EROSION AND SEDIMENT MEASURES IN ACCORDANCE WITH THE DRAWINGS OR RHODE ISLAND STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005 OR LATEST REVISION THEREOF.
3. GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORMWATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.
4. NO CHANGES TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.

B. PRODUCT DATA

1. SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SLEUP COLLARS, SEDIMENT TRAP RISER AND BARREL PIPES, AND DEWATERING DEVICES TO THE DESIGN ENGINEER FOR REVIEW AND ACCEPTANCE.

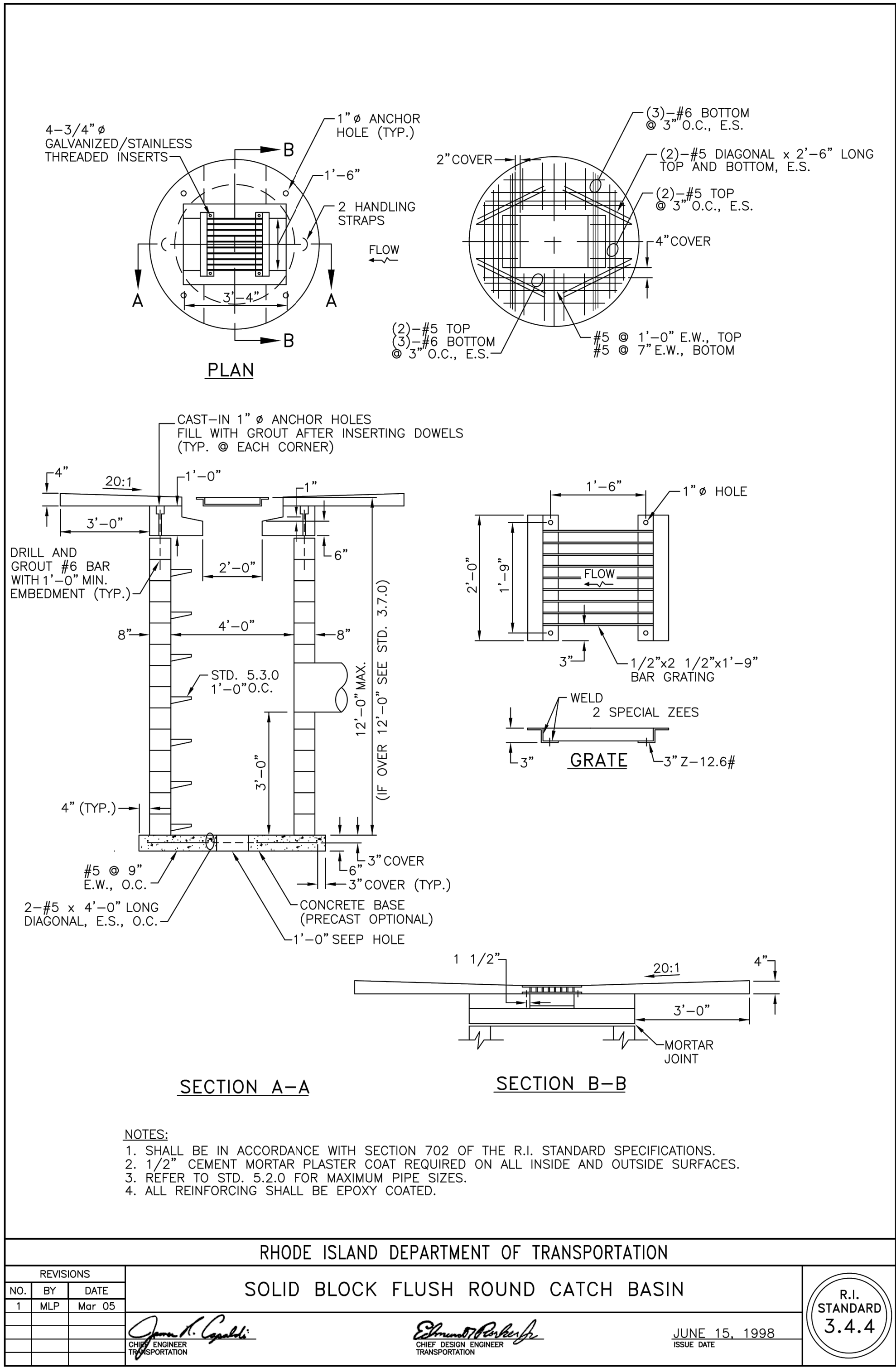
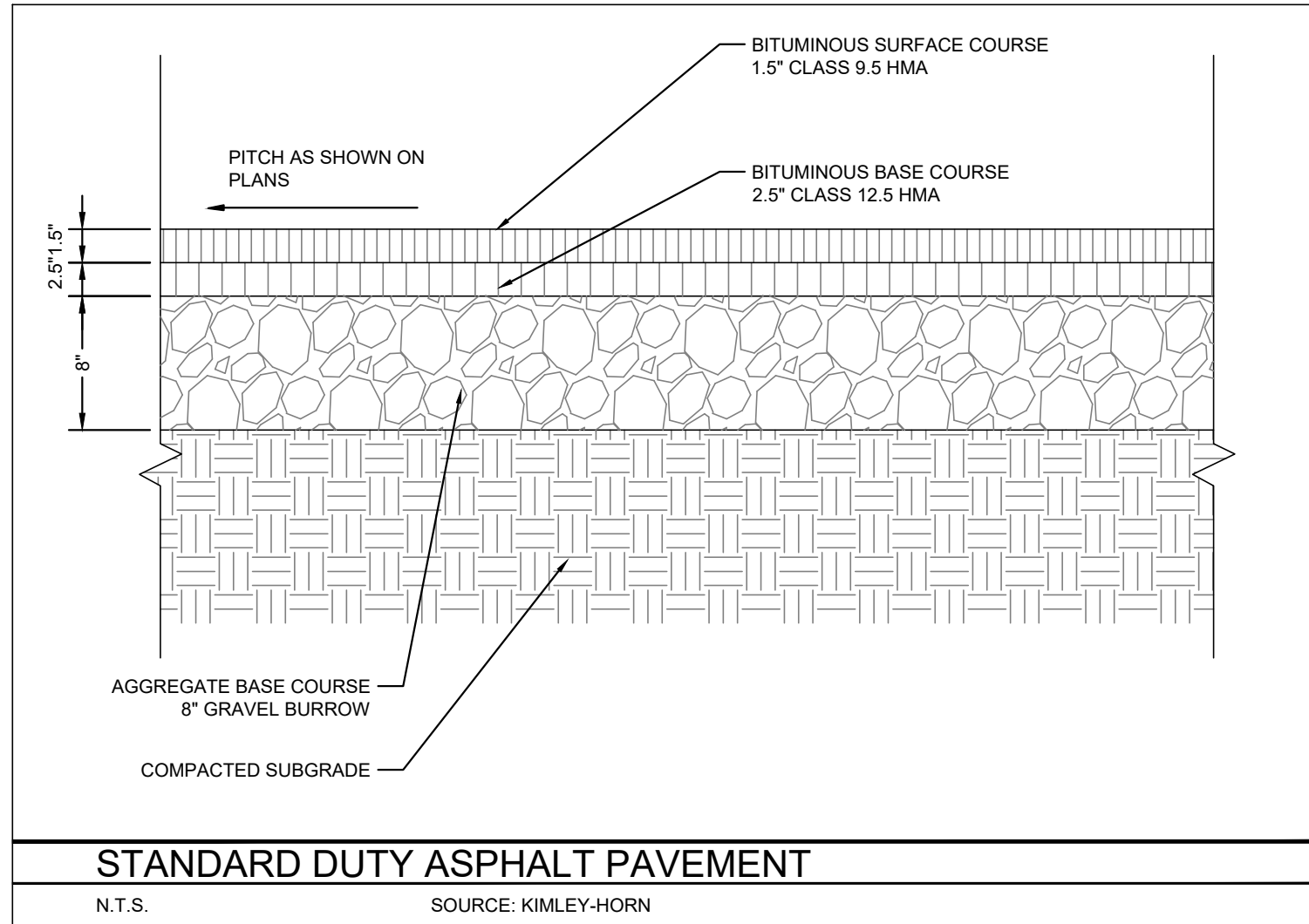
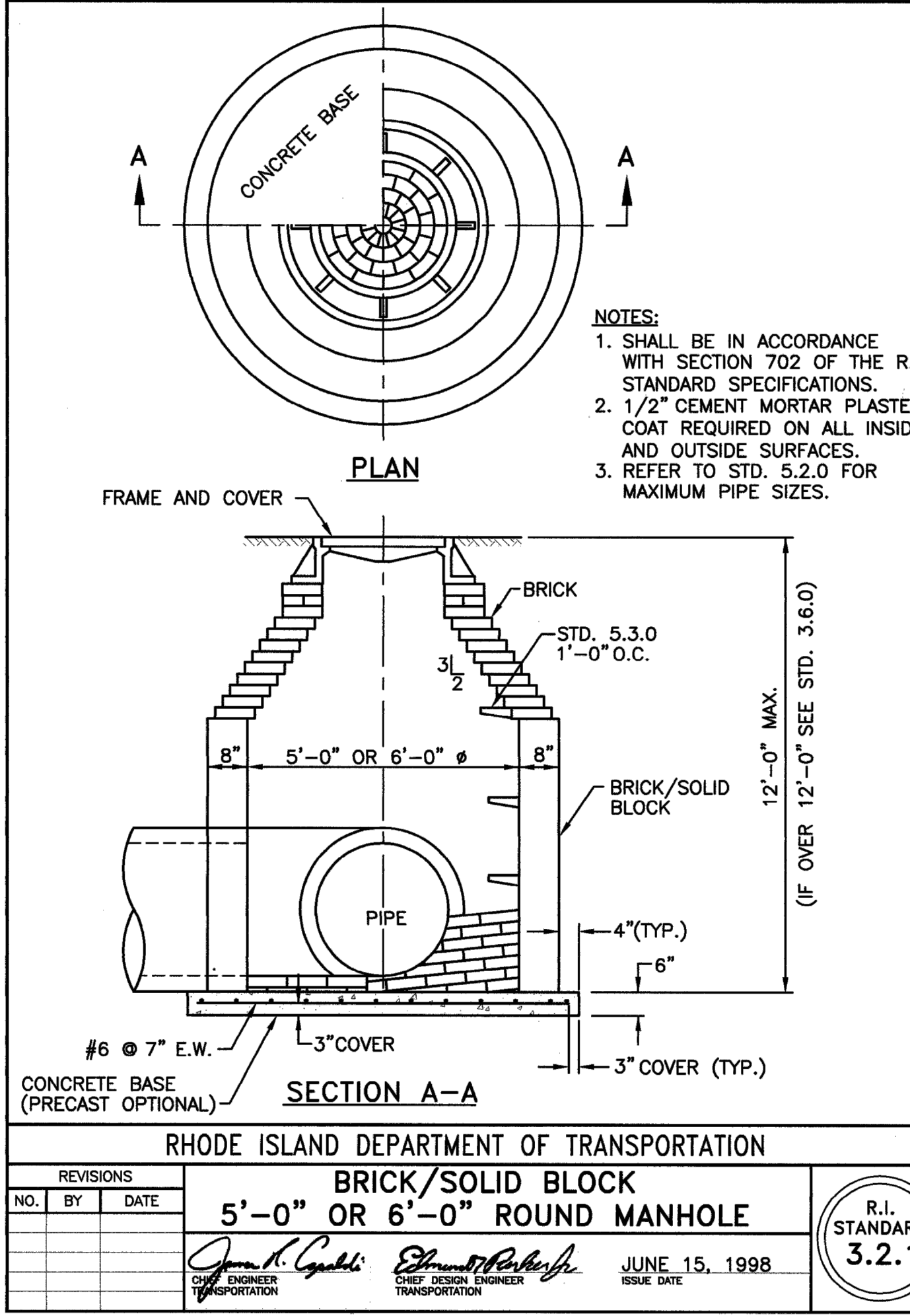
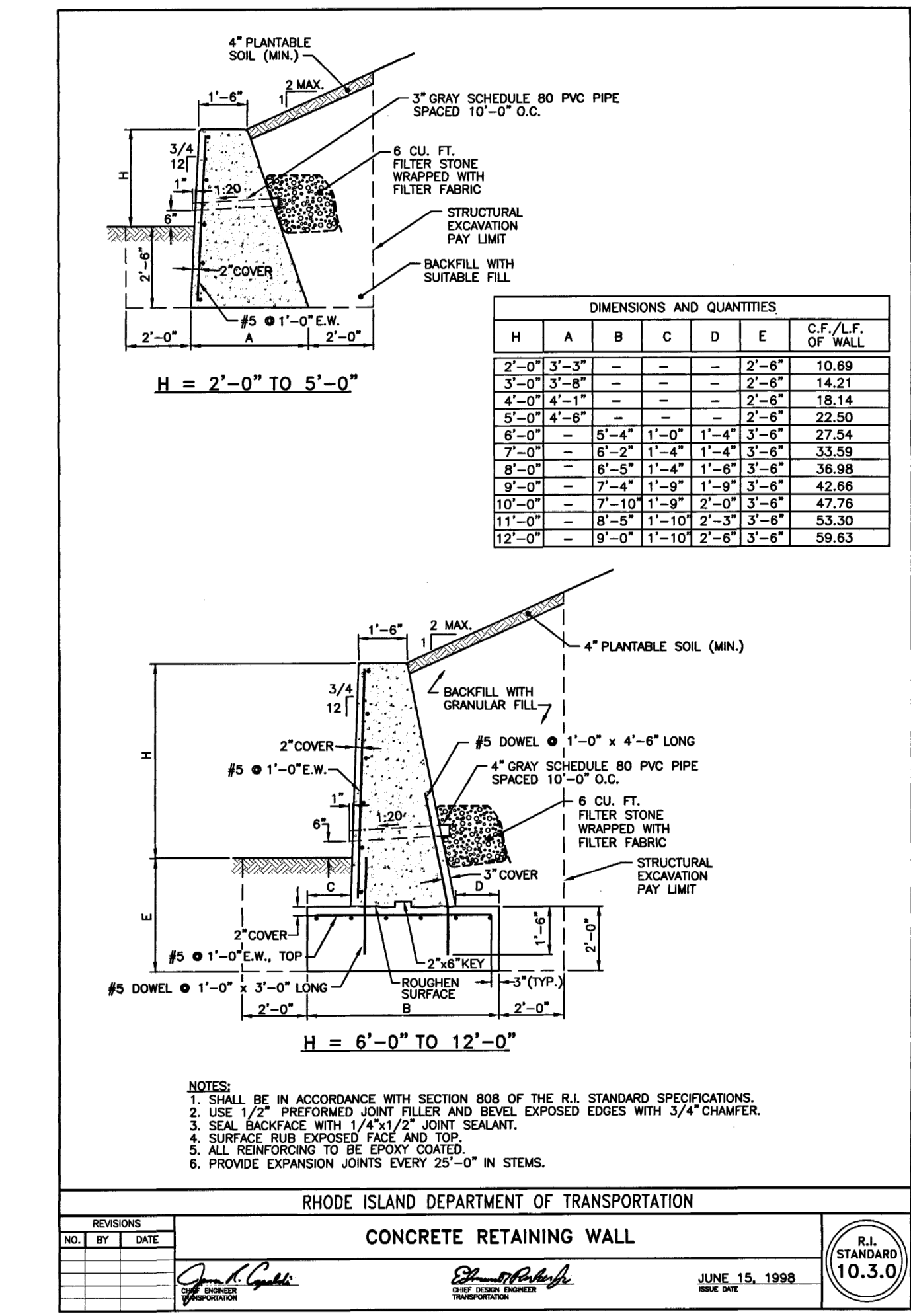
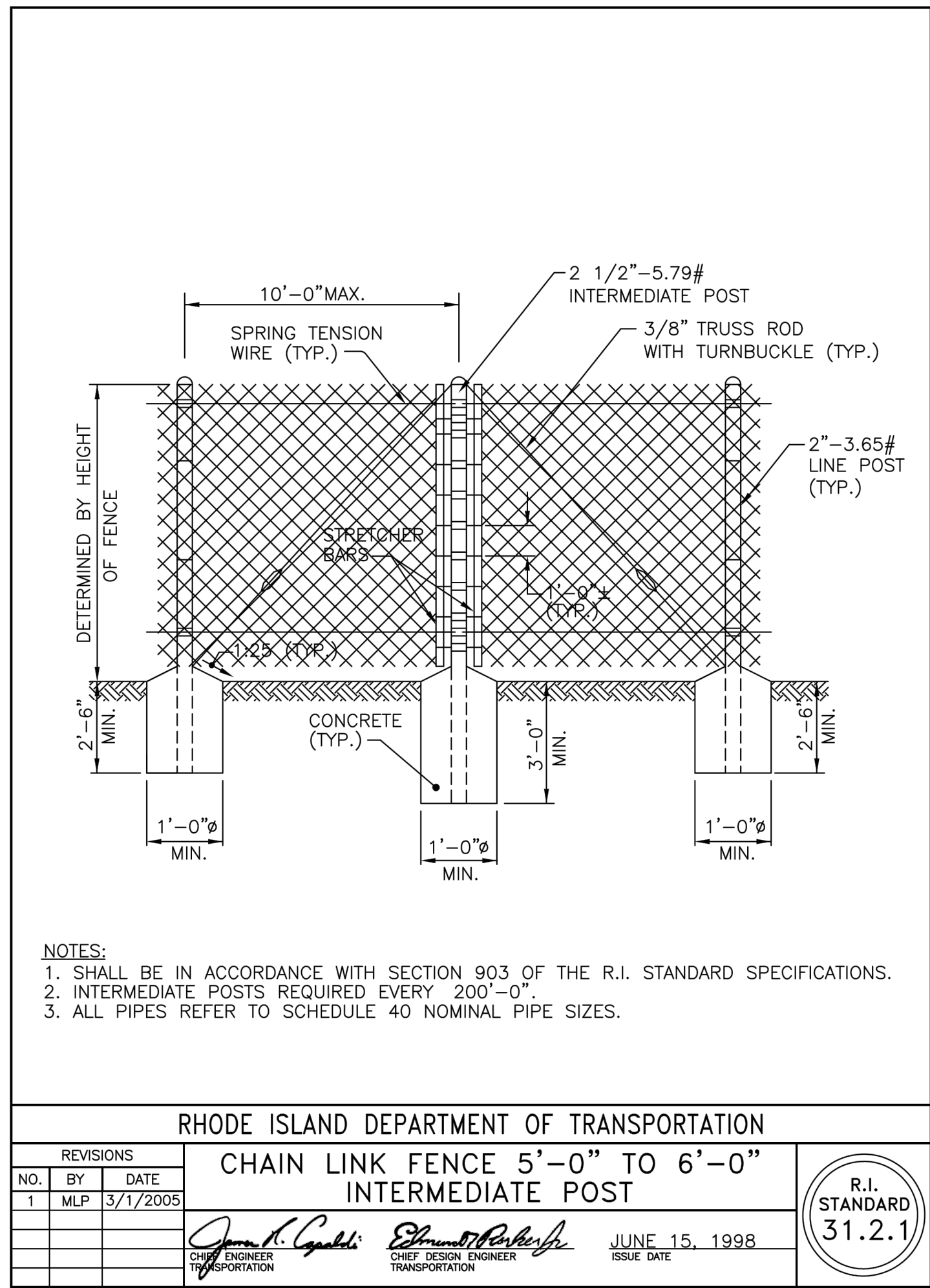
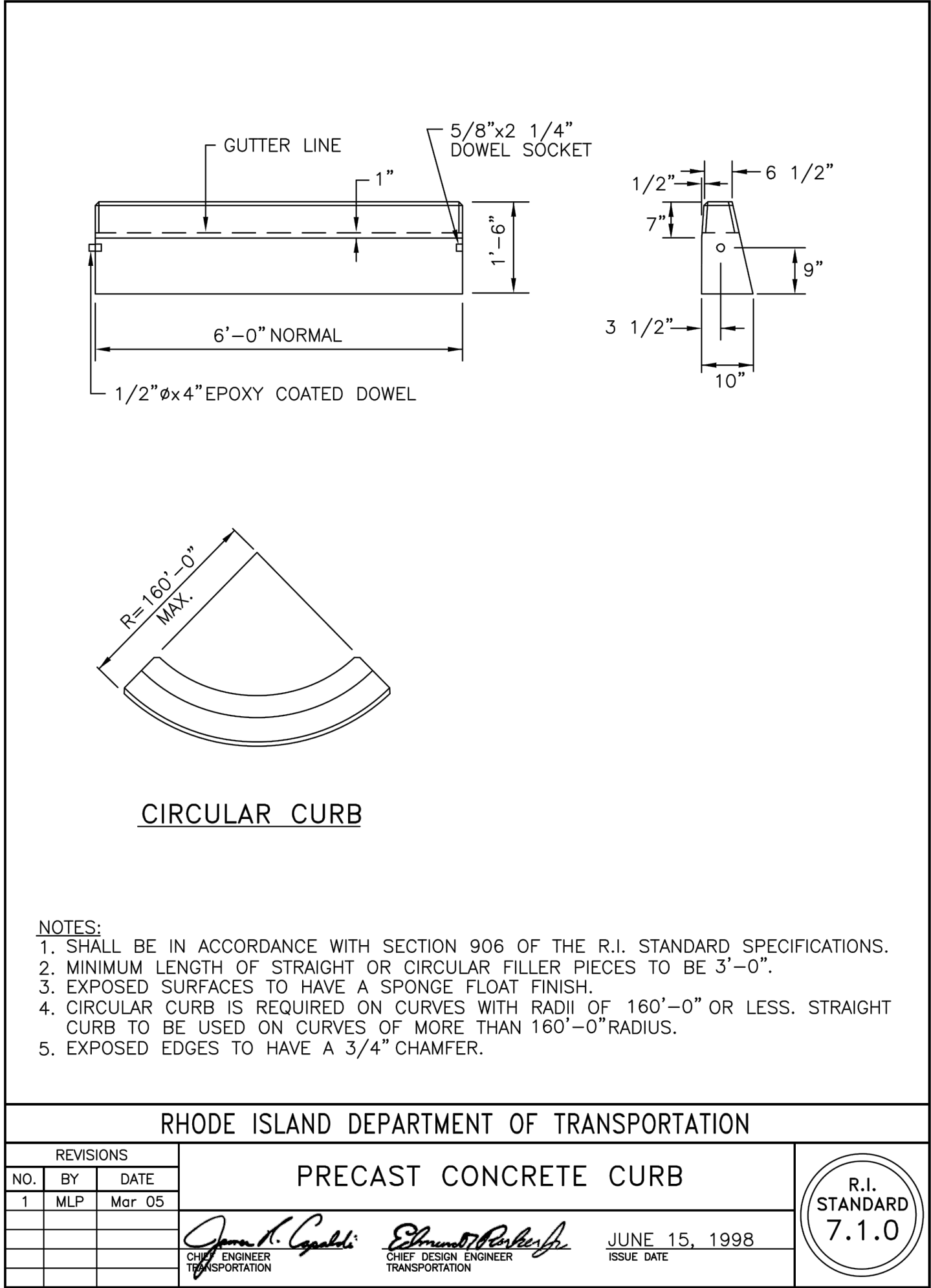
PRODUCTS AND EXECUTION

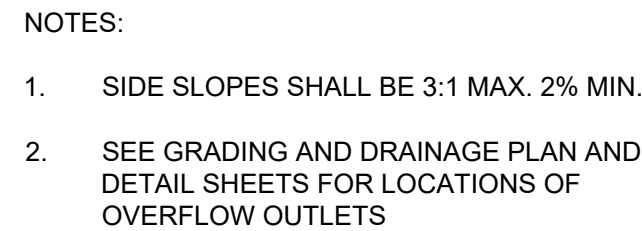
- A. SILT FENCE. SILT FENCE FABRIC SHALL BE MIRAFI 100X OR APPROVED EQUAL. WOOD POSTS SHALL BE OF SOLID QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14.5 GAUGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS.
- B. EROSION CONTROL BLANKETS. EROSION CONTROL BLANKETS SHALL BE ESC-2 BY EAST COAST, OR APPROVED EQUAL.
- C. STABILIZED CONSTRUCTION ENTRANCE. THE FILTER FABRIC SHALL BE MIRAFI 600X OR APPROVED EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- D. TEMPORARY STABILIZATION:
 1. ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED, SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND TUMPS, AND SEED WITH 24 HOURS. SEEDING SOIL: LINE SOIL TO pH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS. PER 1000 SF WITH 5-10-10 OR EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER, SEED SHALL BE CERTIFIED ARCTICOSTOCK WINTER RYE AT 100 LBS/ST. PER ACRE, OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE.
 2. TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED BUILDING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL STATE AND LOCAL REGULATIONS GOVERNING THESE ACTIVITIES.
- G. CONSTRUCTION VEHICLES: WASH DOWN ALL CONSTRUCTION VEHICLES AND COVER WITH TARPULINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENTS OFF-SITE.
- H. PROVIDE MEASURES FOR TRUCK AND TOOL WASH WATER TO BE TREATED PRIOR TO DISCHARGE TO NATURAL AREAS.
- I. NO UNFILTERED DISCHARGE FROM ANY UNSTABILIZED AREAS SHALL BE ALLOWED TO ENTER ANY PERMANENT DRAINAGE OR FILTRATION FACILITIES.

DUST CONTROL

- A. CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME.
- B. BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL.
- C. TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED.
- D. NON-DRIVING AREAS. THESE AREAS USE PRODUCTS AND MATERIALS APPLIED OR PLACED ON SOIL SURFACES TO PREVENT AIRBORNE MIGRATION OF SOIL PARTICLES.
 1. VEGETATIVE COVER. FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.
 2. MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.
- E. DRIVING AREAS. THESE AREAS UTILIZE WATER AND BARRIERS TO PREVENT DUST MOVEMENT FROM THE TRAFFIC SURFACES INTO THE AIR.
 1. SPRINKLING. THE SITE MAY BE SPRAYED WITH WATER UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAIL ROADS AND ACCESS ROUTES.
 2. BARRIERS. WOVEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAIL ROADS. STONE CAL ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.
 3. WIND BREAK: A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENT AT INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.
- F. MAINTENANCE. MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

SHEET NUMBER C-5.1	STORAGE RENTALS OF AMERICA 395 EDDIE DOWLING HIGHWAY NORTH SMITHFIELD, RI 02875 MAP 13, LOTS 103 AND 104 TOWN OF NORTH SMITHFIELD	EROSION AND SEDIMENT CONTROL DETAILS	KHA PROJECT 112573000	DATE 5/19/2022	AS SHOWN	TZ	TZ	KCE	
			SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:			
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