

MAJOR LAND DEVELOPMENT PROJECT - MASTER PLAN

FOR

STORAGE RENTALS OF AMERICA

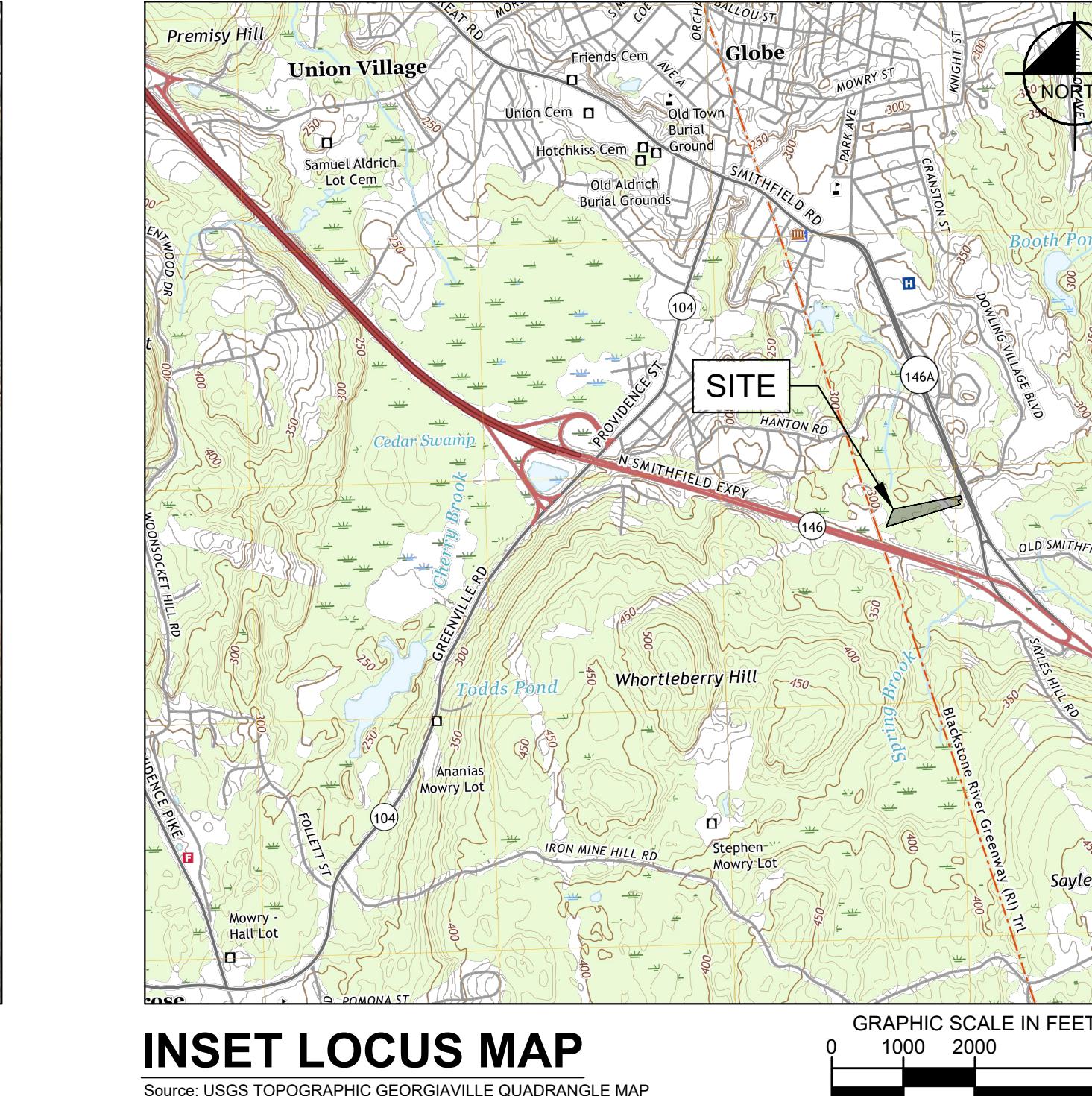
395 EDDIE DOWLING HIGHWAY

NORTH SMITHFIELD, RI 06705

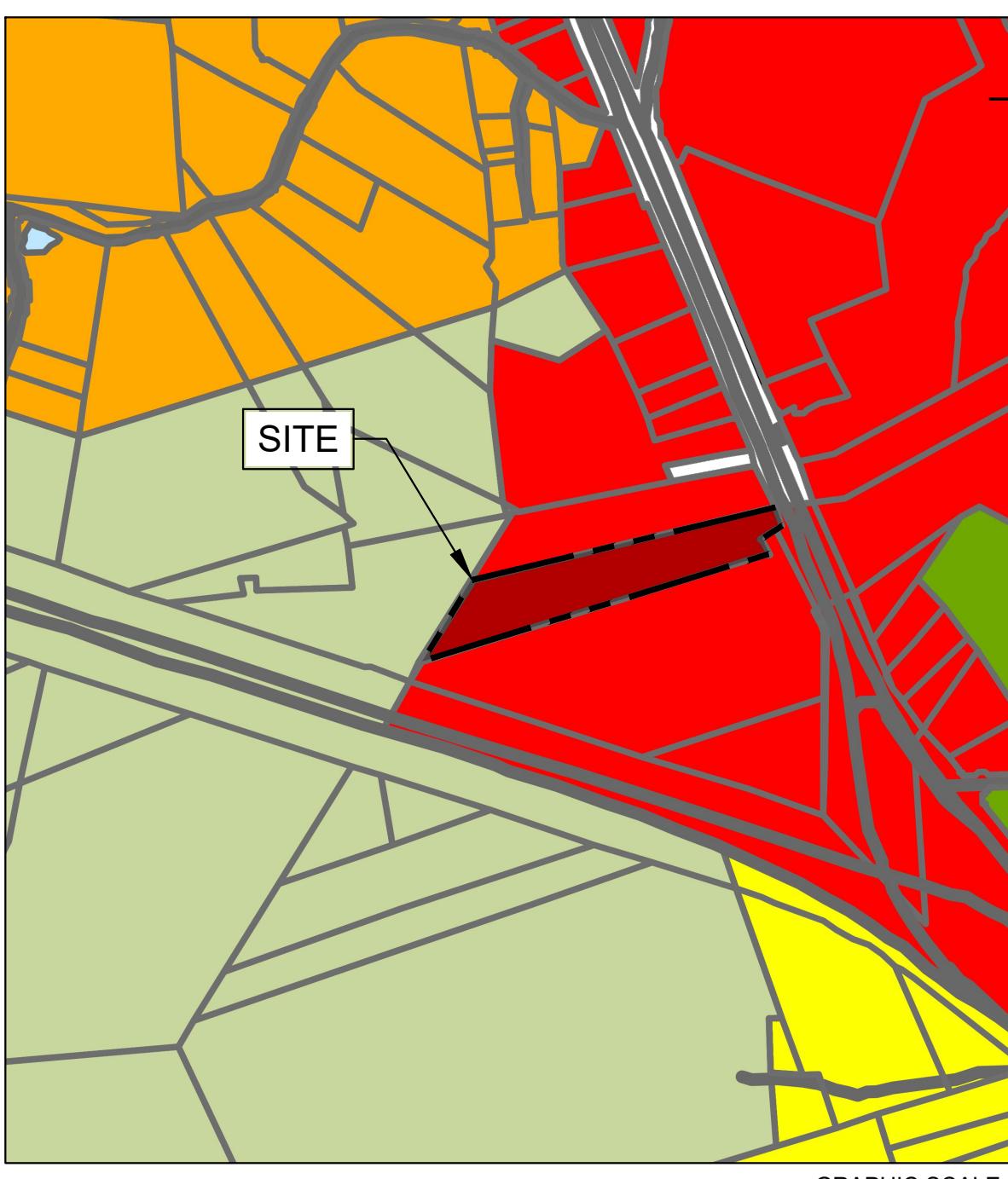
PROJECT TEAM	
CIVIL ENGINEER	KIMLEY-HORN AND ASSOCIATES, INC. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 TEL: (914) 368-9200 CONTACT: MIKE JUNGHANS, P.E.
TRAFFIC ENGINEER	KIMLEY-HORN AND ASSOCIATES, INC. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 TEL: (914) 368-9200 CONTACT: JOHN CANNING, P.E.
LANDSCAPE ARCHITECT	KIMLEY-HORN AND ASSOCIATES, INC. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 TEL: (914) 368-9200 CONTACT: KEVIN VAN HISE, PLA
ARCHITECT	MSSI DESIGN, LLC 8530 COBB CENTER DRIVE KENNESAW, GA 30152 TEL: 678-773-9197 CONTACT: BEN JOHNSON
SURVEYOR	CONTROL POINT ASSOCIATES 352 TURNPIKE ROAD, SUITE 320 SOUTHBOROUGH, MA 01772 TEL: 508-948-3000 X2154 CONTACT: GERRY HOLDRIGHT, PLS
UTILITY & GOVERNING AGENCIES	
ELECTRIC	NATIONAL GRID 280 MELROSE ST PROVIDENCE, RI 02907 TEL: (800) 322-3223
NATURAL GAS	NATIONAL GRID 280 MELROSE ST PROVIDENCE, RI 02907 TEL: (800) 322-3223
WATER	NORTH SMITHFIELD WATER DEPARTMENT 83 GREENE STREET NORTH SMITHFIELD, RI 02896 TEL: (401) 767-2200 EXT. 305 CONTACT: MAURA BECK



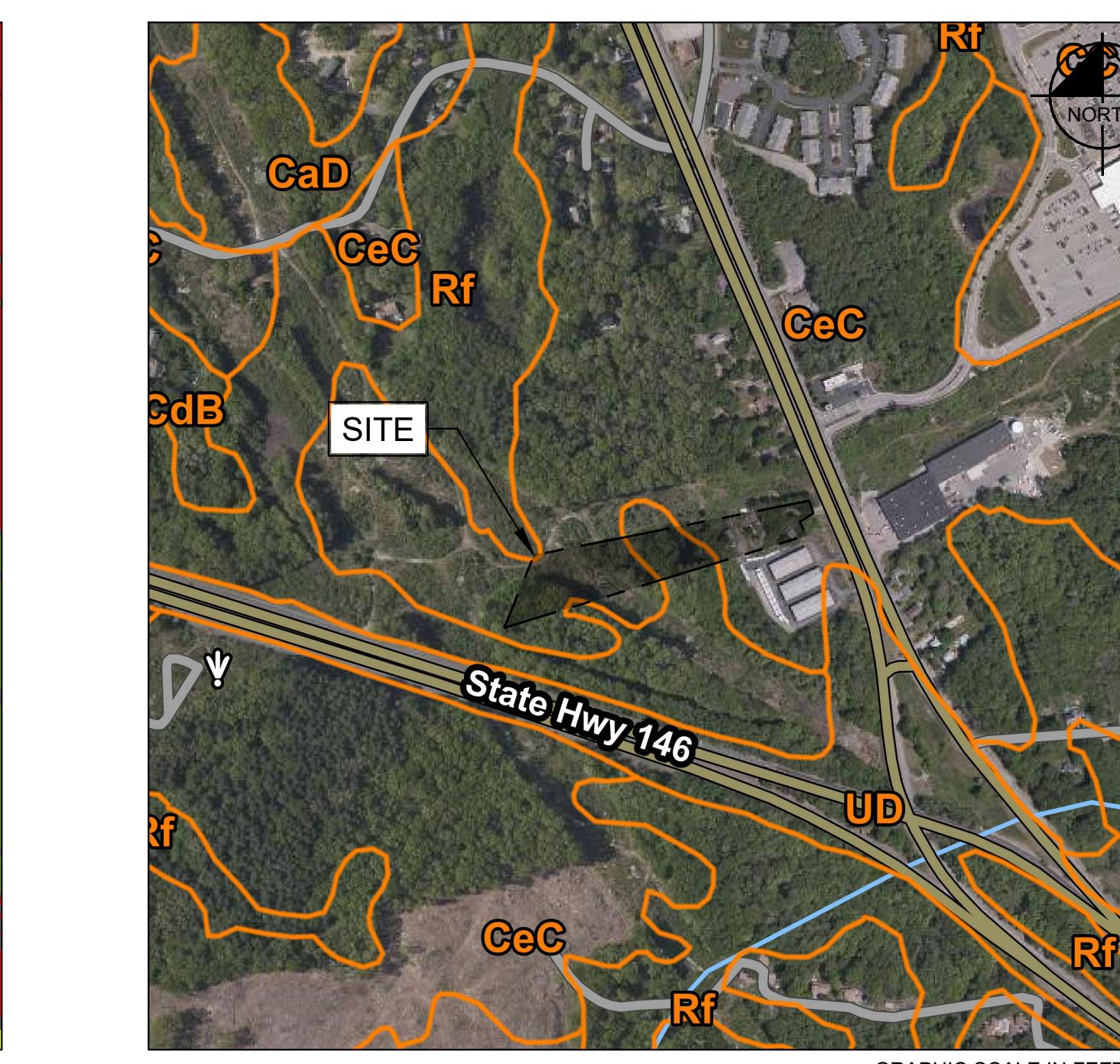
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0 250 500 1000

PROPERTY INFORMATION	
APPLICANT	STORAGE RENTALS OF AMERICA 324 DATURA STREET, SUITE 338 WEST PALM BEACH, FL 33401 TEL: 561-722-4706 CONTACT: BEAU RAICH
OWNER	STORAGE RENTALS OF AMERICA 324 DATURA STREET, SUITE 338 WEST PALM BEACH, FL 33401 TEL: 561-722-4706 CONTACT: BEAU RAICH
MAP: 13 LOT: 103 & 104	

PROJECT NARRATIVE	
THE REDEVELOPMENT PROJECT INCLUDES THE CONSTRUCTION OF A SELF-STORAGE BUILDING ON LOT 103 TO EXPAND THE EXISTING SELF-STORAGE FACILITY ON LOT 104. REDEVELOPMENT IS CONCENTRATED IN THE EASTERN PORTION OF LOT 103, DISTURBING APPROXIMATELY 1.149 AC.	
THE SCOPE OF PROPOSED WORK INCLUDES THE DEMOLITION OF EXISTING STRUCTURES ON LOT 103 AND THE CONSTRUCTION OF A 3-STORY, APPROXIMATELY 61,200 SF SELF-STORAGE BUILDING AND ASSOCIATED SITE IMPROVEMENTS. THE SCOPE OF WORK IS INTENDED TO MINIMIZE DISTURBANCE TO WETLAND BUFFERS AND OTHER SENSITIVE RESOURCES ON SITE, WHILE COMPLYING WITH THE TOWN ZONING ORDINANCE AND OTHER LOCAL REGULATIONS.	

SHEET LIST	
SHEET #	SHEET
C-0.0	COVER SHEET
1 OF 2	BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 2	BOUNDARY & TOPOGRAPHIC SURVEY
C-1.0	GENERAL NOTES
C-2.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C-3.0	SITE AND UTILITY PLAN
C-4.0	GRADING AND DRAINAGE PLAN
C-5.0	EROSION AND SEDIMENT CONTROL PLAN
C-5.1	EROSION AND SEDIMENT CONTROL DETAILS
C-6.0	CONSTRUCTION DETAILS
C-6.1	CONSTRUCTION DETAILS

STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD
RHODE ISLAND
SHEET NUMBER
C-0.0

DATE	5/16/2022
DESIGNED BY	TZ
DRAWN BY	TZ
CHECKED BY	KCE
KHA PROJECT 112573000	
NOT FOR CONSTRUCTION	
Kimley-Horn	
© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 PHONE: (914) 368-9200 WWW.KIMLEY-HORN.COM	
NO.	REVISIONS
DATE BY	

ITEMS	REQUIRED
MIN LOT AREA	N/A
MIN LOT WIDTH	N/A
MIN FRONTAGE	N/A
MIN FRONT YARD	25'
MIN SIDE YARD	15'
MIN REAR YARD	30'
MAX BUILDING HEIGHT	35' / 20' *
MAX BUILDING COVERAGE	N/A
PARKING REQUIREMENTS	NONE

* 35' MAX BUILDING HEIGHT FOR PRIMARY STRUCTURES; 20' MAX BUILDING HEIGHT FOR ACCESSORY STRUCTURES

MAP 13
LOT 144
N/F LANDS OF
NARRAGANSETT ELECTRIC CO
(PER G5)

OFF EDDIE DOWLING HIGHWAY

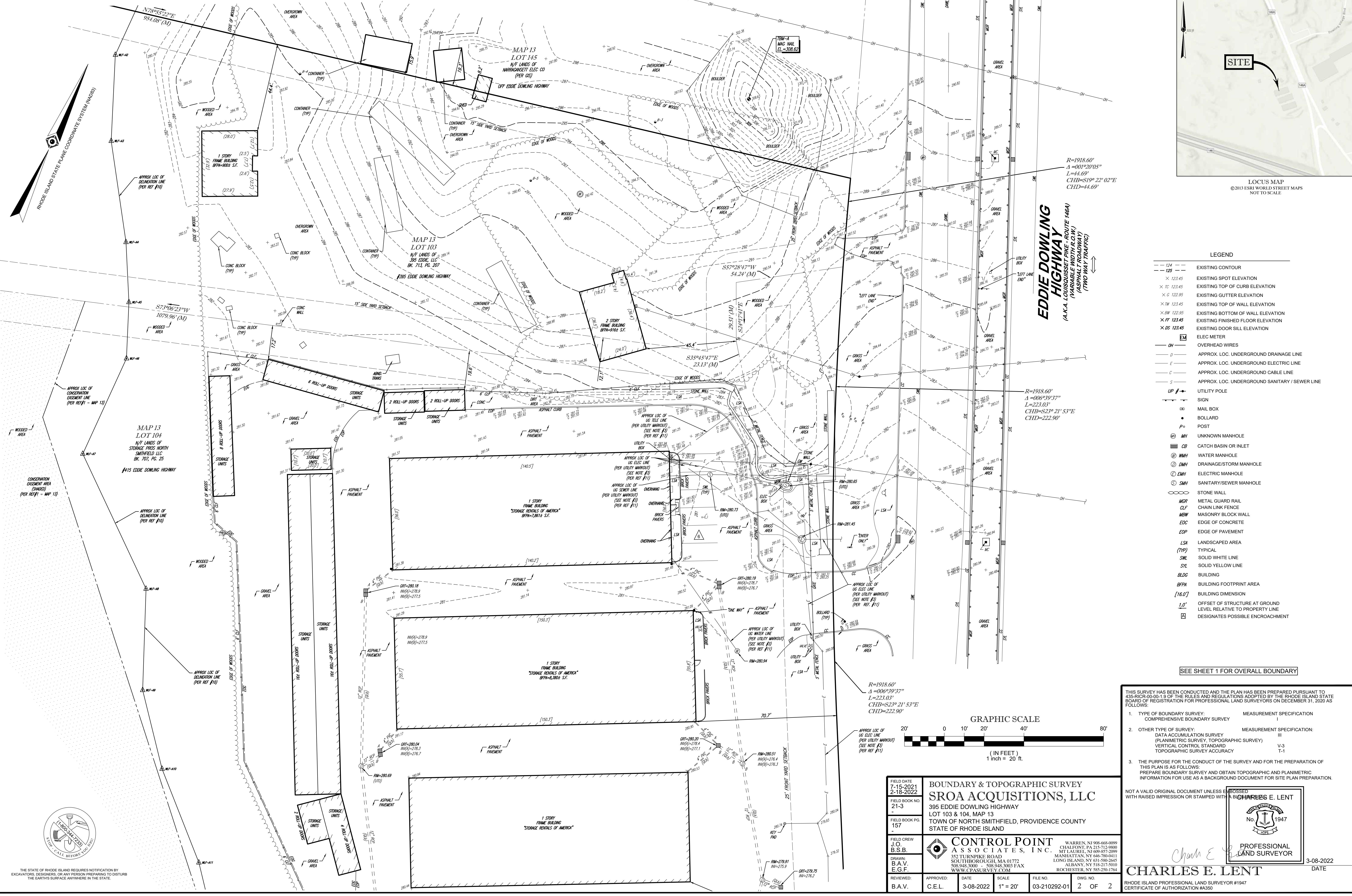
MAP 13
LOT 145
N/F LANDS OF
NARRAGANSETT ELECTRIC CO
(PER G5)

OFF EDDIE DOWLING HIGHWAY

AREA OF TOPOGRAPHIC
DETAIL (SEE SHEET 2 OF 2)

BK 713, PG. 207
(TITLE DESCRIPTION)

POB



GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEES IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL NOT BE COMMENCED UNTIL THE CONTRACTOR HAS MADE ALL REASONABLE EFFORTS TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR ANY COSTS OR DAMAGES OR COST INCURRED, BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS-CONSTRUCTED" DRAWINGS PREPARED BY A RI LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF RHODE ISLAND PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE EXISTING OR PROPOSED IMPROVEMENTS. IF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED, FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES. PAD FOR THE VARIOUS ITEMS OF WORK, THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW UTILITIES ARE TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
- WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS AND OLD UTILITY SYSTEMS, SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO UTILITIES, UTILITY STRUCTURES, ASPHALT AND CONCRETE PAVEMENT, CONCRETE PAVERS, CONCRETE AND GRANITE CURBING, DRIVEWAY APRONS, CONCRETE AND ASPHALT RAMPS, SIDEWALKS, FENCING, RAILINGS, SIGNAGE, SITE LIGHTING, RETAINING WALLS AND MISCELLANEOUS STRUCTURES.
- HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF NORTH SMITHFIELD CODE.
- PRIOR STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
- CONTRACTOR IS ALSO TO FAMILIARIZE HIMSELF WITH THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL REPORTS APPLICABLE TO THE PROJECT ASUMED PROVIDED BY OTHERS.
- INFORMATION GIVEN IN THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL ENGINEERING REPORTS WAS OBTAINED FOR USE BY THE OWNER IN EXECUTION OF DESIGN. THE SUBSURFACE CONDITIONS DESCRIBED IN THE REPORTS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. THE SUBSURFACE STRATIGRAPHY SHOWN IN THE REPORTS ARE BASED ON NECESSARY INTERPOLATIONS BETWEEN BORINGS AND MAY OR MAY NOT REPRESENT ACTUAL SUBSURFACE CONDITIONS. THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS MADE FROM THE DATA IN THE REPORTS BY THE CONTRACTOR.
- CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR, AND IS TO ATTEND BY REPRESENTATIVES OF THE OWNER, OWNER CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITECIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF NORTH SMITHFIELD.
- ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS, THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNER'S USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.
- PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
- MANTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.
- REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY DURING DEMOLITION OPERATIONS.
- EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
- PROVIDE AT LEAST SEVENTY-TWO (72) HOURS' NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
- TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
- PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS OR OTHER CONSTRUCTION ACTIVITY.
- GENERAL: DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK, COMPLETELY, USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

- Maintain adequate ventilation when using cutting torches.
- Locate demolition equipment and remove debris and other materials so as not to impose excessive loads on supporting walls, floors, or framing of adjoining structures.
- Engineering surveys: Perform surveys as the work progresses to detect hazards that may result from building demolition activities.
- Site access and temporary controls: Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
- Do not close or obstruct streets, walks, walkways, or other adjacent occupied or used facilities without permission from owner and authorities having jurisdiction, provide alternate routes around closed or obstructed traffic ways if required by authority having jurisdiction.
- Use water mist and other suitable methods to limit spread of dust and dirt, comply with governing environmental-protection regulations, do not use water when it may damage adjacent construction or create hazardous or objectionable conditions, such as ice, flooding, and pollution.
- Remove structures and other site improvements intact when permitted by authorities having jurisdiction.
- Concrete: Cut concrete full depth at junctures with construction indicated to remain, using power-driven saw, then remove concrete between saw cuts.
- Masonry: Cut masonry at junctures with construction indicated to remain, using power-driven saw, then remove masonry between saw cuts.
- Concrete slabs-on-grade: Saw-cut perimeter of area to be demolished at junctures with construction indicated to remain, then break up and remove.
- Equipment: Disconnect equipment at nearest fitting connection to services, complete with service valves, remove as whole units, complete with controls.
- Below-grade construction: Demolish existing foundations and footings, foundation walls, walls, slabs and other below-grade construction that is within ten (10) feet outside of footprint indicated for new construction. Abandon below-grade construction outside this area.
- Remove below-grade construction to depth indicated on the plans.
- Existing below-grade construction should be removed entirely from below proposed foundations and their zones of influence (if determined by lines extending at least one (1) foot laterally beyond footing edges for each vertical foot of depth) and excavated to at least two (2) feet below proposed construction subgrade levels elsewhere.
- Foundation and slabs may remain in place below these depths below ground supported slabs, pavements and landscaped areas, provided they are approved by the geotechnical engineer and do not interfere with future construction (including utilities); however, if existing slab or structure to remain should be thoroughly broken to allow vertical drainage of infiltrating water.
- Existing utilities: Abandon existing utilities and below-grade utility structures. Cut utilities flush with grade.
- Existing utilities: Demolish existing utilities and below-grade utility structures that are within ten (10) feet outside of footprint indicated for new construction. Abandon utilities outside this area.
- Fill abandoned utility structures and piping with either lean concrete or satisfactory soil materials approved by the owner or geotechnical engineer.
- Existing utilities: Demolish and remove existing utilities and below-grade utility structures.
- Site drainage: Site soils may soften when exposed to water, every effort must be made to maintain drainage of surface water runoff away from construction areas and open excavations by grading and limiting the exposure of excavations and prepared subgrades to rainfall.
- Below-grade areas: Completely fill below-grade areas and voids resulting from building demolition operations with satisfactory soil materials approved by the owner and/or geotechnical engineer.
- Site grading: Uniformly rough grade area of demolished construction to a smooth surface, free from irregular surface changes, provide a smooth transition between adjacent existing grades and new grades.
- Separate recyclable demolished materials from other demolished materials to the maximum extent possible, separate recyclable materials by type.
- Provide containers or other storage method approved by architect for controlling recyclable materials until they are removed from project site.
- Stockpile processed materials on-site without intermixing with other materials. Place, grade, and shape stockpiles to draw surface water cover to prevent windblown dust.
- Stockpile materials in designated areas shown on the plans or as approved in the field by the owner or construction manager.
- If recyclable material cannot be used on-site, the contractor shall transport the recyclable materials off owner's property and legally dispose of them at no additional cost to the owner in accordance with the swp.
- Demolition material, free of environmental concerns, and approved by rideim, may be used as fill material, provided the material is properly segregated and processed as follows and approved for reuse on the site by the geotechnical engineer.
- Concrete, masonry materials should be crushed to a well graded blend with a maximum size of three (3) inches in diameter, per earthwork specifications.
- Milled or recycled asphalt pavement (rap) may be reused as granular base material for pavements provided that the rap particle size meets the rhode island state department of transportation standard specifications for granular base and no more than fifty (50) percent of the pavement granular base contains rap.
- Other asphaltic materials and deleterious building materials such as wood, insulation, metal, shingles, etc. should not be used as general structural fill material.
- Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill.
- Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- Burning: On-site burning of rubbish and other demolition debris will not be permitted.
- Disposal: Transport demolished materials off owner's property and provide for the legal off site disposal of the material in accordance with the swp.
- Clean adjacent structures and improvements of dust, dirt, and debris caused by building demolition operations. Return adjacent areas to condition existing before building demolition operations began.
- The contractor shall be responsible for providing the owner with a survey prepared by a ri licensed land surveyor showing the location and the elevations to which the demarcation barrier is installed.
- The contractor is to note that the work of this contract will include work by others and the contractor shall coordinate his work and make every reasonable effort to permit the execution of such work by others without delay.
- If temporary utility services are required the contractor shall see to it that they are provided at no additional cost to the owner and it shall be the contractor's responsibility to maintain such temporary facilities for the duration of their work.
- All work of this contract shall conform to these contract drawings and specifications as well as to the applicable requirements of the town of north smithfield building, public works, and fire departments, as well as the cognizant public utility companies.
- All work shall comply with the building code of rhode island state and all other applicable federal, state, and local rules, laws and regulations.
- All project related lines and grades are to be established by a licensed surveyor registered to practice in the state of rhode island.
- Sizes of existing utility lines are to be verified in the field by careful test excavations by the contractor prior to starting the work any substantive variations from the survey data provided are to be brought to the attention of the architect or engineer so that appropriate design modifications may be made.
- The contractor shall take care not to damage existing drainage or utility systems within or adjacent to the work shown on these drawings. Any damage caused by the contractor's operations shall immediately be repaired by the contractor at no additional expense and to the satisfaction of the owner or utility company involved.
- The contractor shall be responsible for the coordination of all trades required by the contract work and shall obtain all required bonds, permits, etc. required for the execution of the work and conform the work with all applicable codes, rules and regulations of the governing agencies. the contractor in accordance with the terms of the contract, shall be responsible for notifying the appropriate utility company or agency prior to commencing any excavation work and shall notify the "call before you dig" hotline at 1-800-962-7962 prior to commencing any construction activities.
- Safe and adequate pedestrian and vehicular traffic flow shall be maintained at all times to the adjacent buildings while the work is progressing. the contractor shall submit for approval of the owner a construction sequence schedule and plan for pedestrian and vehicular traffic flow.
- All unpaved areas within the work areas and all areas disturbed during construction are to be stabilized in accordance with the rideim approved stormwater pollution prevention plan. unless otherwise directed by owner, treated and disturbed by regrading and other work of contractor, shall be brought to the proper surface elevation of topsoil to a minimum depth of 4 inches shall be placed and liming, fertilizing and seeding accomplished as specified. the contractor shall water and maintain the seeded areas until they have become well established.
- Temporary protection: Erect temporary protection, such as walks, fences, railings, canopies, and covered passageways, where required by authorities having jurisdiction and as indicated.
- Protect existing site improvements, appurtenances, and landscaping to remain.
- Provide temporary barriers and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
- Provide protection to ensure safe passage of people around building demolition area and to and from occupied portions of adjacent buildings and structures.
- General: demolish all items, as either indicated on the plans or encountered in the field during the work, completely, use methods required to complete the work within limitations of governing regulations and as follows:
- Do not use cutting torches until work area is cleared of flammable materials. maintain fire watch and portable fire-suppression devices during flame-cutting operations.

- Existing pavement which is to remain and which is removed or damaged during the construction work of this contract is to be restored to its original condition.
- Unless otherwise shown herein or directed by the engineer, the contractor shall match the materials, types, thickness and quality of existing bituminous concrete pavements, walkways and curbs within the public right-of-way which are to be replaced.
- Asa reference standard all work contained herein shall be governed by the requirements set forth in the "standard specifications, construction and materials" as published by the ride, design and construction division, dated january 2, 2002, including all latest amendments thereto.
- At no time shall any excavated areas be left unattended unless appropriate marking and barricading is employed.
- With regard to existing utilities to remain, the contractor shall be responsible for adjusting all existing utility valves, manhole covers, rims, inverters and hydrants to meet new finish grade or as otherwise required to function properly.
- Contractor shall review plans from site preparation and site package contract and familiarize themselves with previous scope of work.
- Contractor shall limit activities in areas of development that are occupied.

INFILTRATION NOTES

SUBGRADE PREPARATION

- Existing subgrade under bed areas shall not be compacted or subject to construction equipment traffic prior to geotextile and retention layer placement.
- Contractor shall determine subgrade permeability in accordance with astm d 3385 before concrete placement. contractor shall provide permeability testing for subgrade to confirm that subgrade permeability meets requirements of contract documents.
- Contractor shall prepare subgrade as specified in the contract documents, insuring the bottom of the retention layer is at level grade.
- Contractor shall grade subgrade to ensure that the required pavement thickness is obtained in all locations.
- Contractor shall scarify subgrade to a minimum depth of twelve (12) inches prior to placing the non-woven geotextile material.

RETENTION LAYER NOTES

- Where specified, contractor shall prepare retention layer in accordance with contract documents.
- The non-woven geotextile and retention layer aggregate shall be placed immediately after approval of subgrade preparation. any accumulation of debris or sediment which has taken place after approval of subgrade shall be removed prior to installation of geotextile at no extra cost to the owner.
- Place geotextile in accordance with manufacturer's standards and recommendations. adjacent strips of geotextile shall overlap a minimum of sixteen inches (16"). secure geotextile at least four feet (4') outside of bed and take any steps necessary to prevent any runoff or sediment from entering the retention layer.
- Install coarse aggregate in 8-inch maximum lifts. aggregate shall meet the requirements specified in the contract documents. lightly compact each layer with equipment, keeping equipment movement over retention layer and subgrade to a minimum. install aggregate to grades indicated in the contract documents.
- Construct retention layer to ensure that the required pavement thickness is obtained in all locations.
- Following placement of retention layer aggregate, the geotextile shall be folded back along all bed edges to protect from sediment washout along retention layer edges. at least a four (4) foot edge strip shall be used to protect beds from adjacent bare soil. this edge strip shall remain in place until all bare soils contiguous to beds are stabilized and vegetated. in addition, take any other necessary steps to prevent sediment from washing or tracking into beds during site development. when the site is fully stabilized, temporary sediment control devices shall be removed.

MAINTENANCE

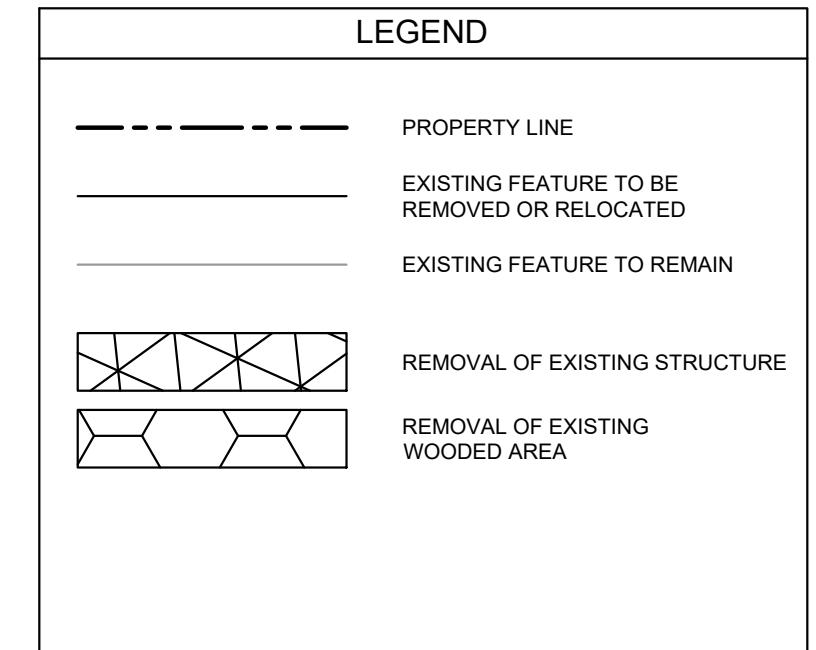
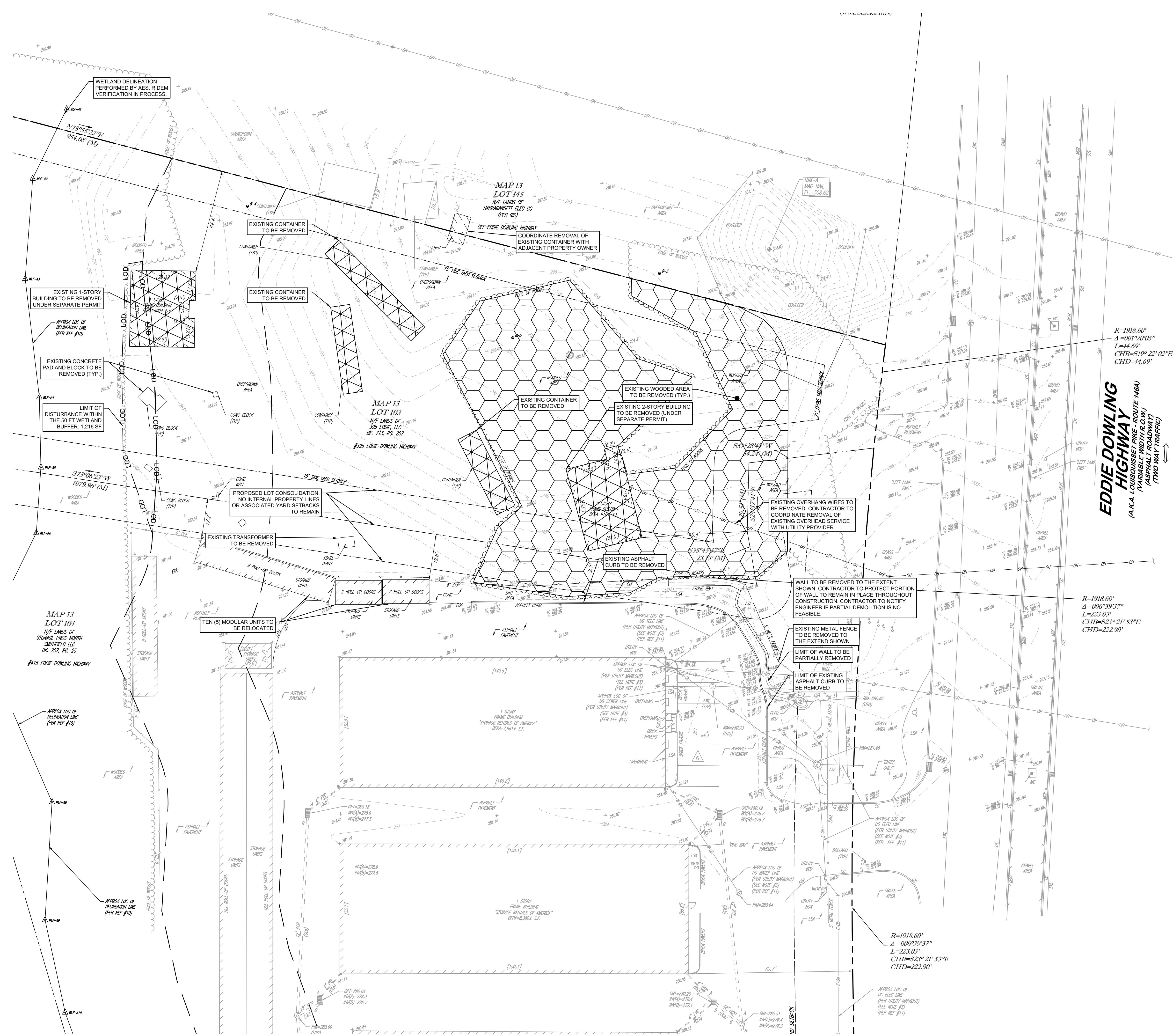
All measures stated on the erosion and sediment control plan, and in the storm water pollution prevention plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. all erosion and sedimentation control measures may be checked by a qualified person on a schedule that meets or exceeds the governing requirements, and cleaned and repaired in accordance with the following:

- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining, or deterioration.
- All seeded areas shall be checked regularly to see that a good stand is maintained. areas should be fertilized, watered and reseeded as needed.
- Silt fences shall be repaired to their original conditions if damaged. sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
- The construction entrances shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. this may require periodic top dressing of the construction entrances as conditions dictate.
- The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). this may require periodic dressing of the temporary parking as conditions demand.
- Outlet structures in the sedimentation basins shall be maintained in operational conditions at all times. sediment shall be removed from sediment basins or traps when the design capacity has been reduced by 55 cubic yards / acre.
- All maintenance operations shall be done in a timely manner.

WATER AND SEWER UTILITY NOTES

- The contractor shall construct gravity sewer laterals, cleanouts, gravity sewer lines, and domestic water and fire protection system as shown on these plans. the contractor shall furnish all necessary materials, equipment, machinery, tools, means of transportation and labor necessary to complete the work in full and complete accordance with the shown, described and reasonably intended requirements of the contract documents and jurisdictional agency requirements. in the event that the contract documents and the jurisdictional agency requirements are not in agreement, the most stringent shall govern.
- All existing underground utility locations shown are approximate. the contractor shall comply with all requirements for utility location and coordination in accordance with the notes contained in the general construction section of this sheet. the contractor shall also scope the sewer lines on site and record a dvd.
- The contractor shall restore all disturbed vegetation in kind, unless shown otherwise.
- Deflection of pipe joints and curvature of pipe shall not exceed the manufacturer's specifications. securely close all open ends of pipe and fittings with a watertight plug when work is not in progress. the interior of all pipe shall be clean and dry after the pipe has been lowered into the trench; valves shall be plumb and located according to the plans.

- All phases of installation, including unloading, trenching, laying, and back filling, shall be done in a first class workmanlike manner. all pipe and fittings shall be carefully stored following manufacturer's recommendations. care shall be taken to avoid damage to the coating or lining in any d.i. pipe fittings. any pipe or fitting which is damaged or which has flaws or imperfections which, in the opinion of the engineer or owner, renders it unfit for use, shall not be used. any pipe not satisfactory for use shall be clearly marked and immediately removed from the job site, and shall not be replaced at the contractor's expense.
- Water for fire fighting shall be available for use prior to combustibles being brought on site.
- All utility and storm drain trenches located under areas to receive paving shall be completely back filled in accordance with the governing jurisdictional agency's specifications. in the event that the contract documents and the



EXISTING CONDITIONS NOTES	
1. PROPERTY LINES AND EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED AND PREPARED BY CONTROL POINT ASSOCIATES DATED JANUARY, 28, 2022.	
2. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY. OR ASKED, THE INFORMATION ON THE PLAN IS NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.	
3. ELEVATIONS SHOWN ARE REFERENCED TO NAVD88 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.	
4. RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.	
5. TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.	
6. CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.	
7. CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.	
8. THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 44007C0157G.	
9. CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.	

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EXISTING CONDITIONS AND DEMOLITION PLAN

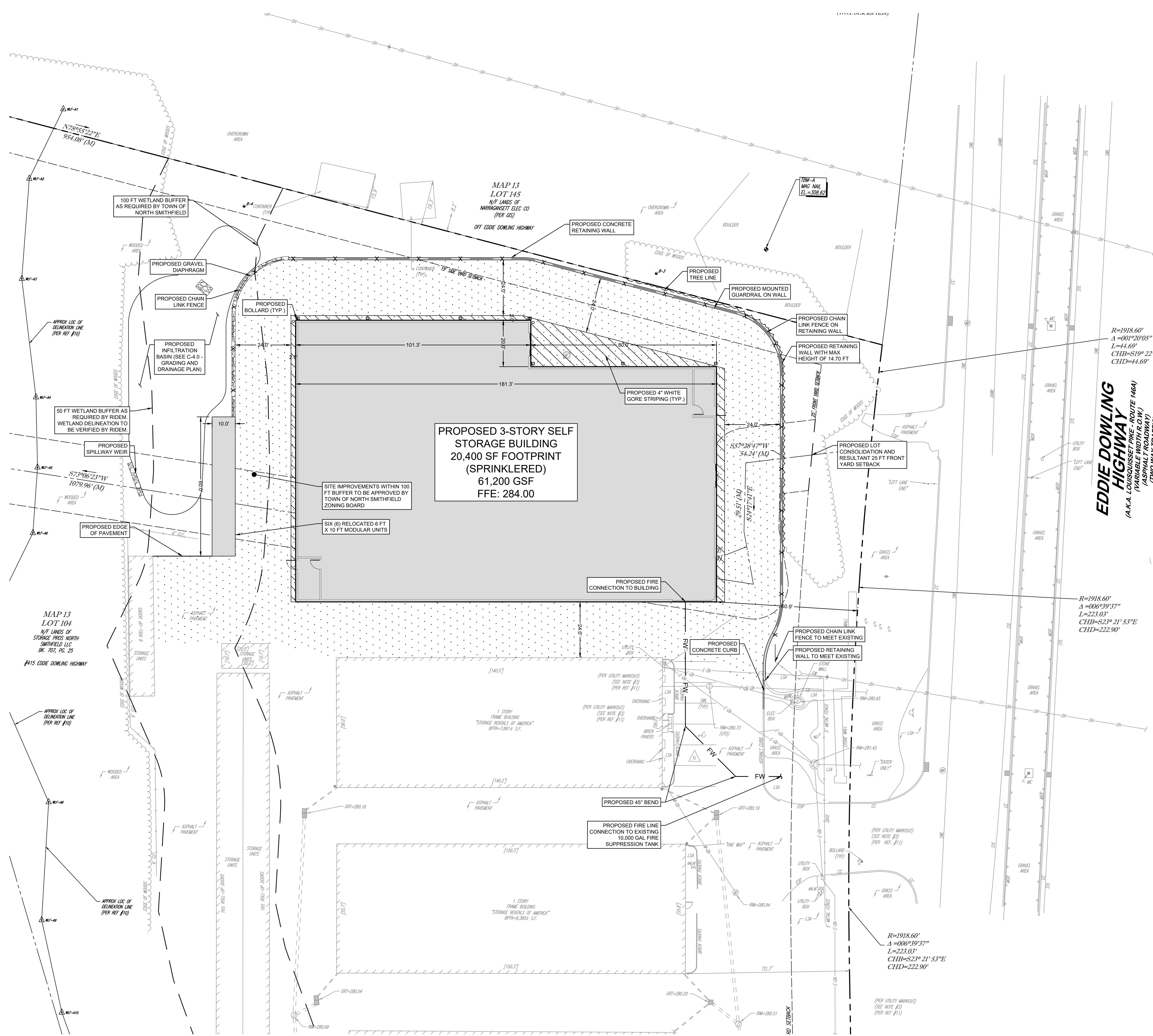
STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD
RHODE ISLAND

0 10 20 40
GRAPHIC SCALE IN FEET

SHEET NUMBER
C-2.0

NO.	REVISIONS	DATE BY
1	NOT FOR CONSTRUCTION	NOV 2022 KHA

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LEGEND	
BUILDING	
STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT	
STONE GRAVEL	
CHAIN LINK FENCE	
CONCRETE CURB	

ZONING REQUIREMENTS		
ZONING DISTRICT	BUSINESS HIGHWAY - BH	VACANT
EXISTING USE		SELF STORAGE FACILITY
PROPOSED USE		
REQUIRED	EXISTING	PROPOSED
FRONT YARD SETBACK	25 FT	46.7 FT
SIDE YARD SETBACK	15 FT	1.8 FT
MAX. FLOOR AREA RATIO*	0.250	0.069
MAX. BUILDING HEIGHT	35 FT	< 35 FT
		TBD

* THE FLOOR AREA RATIO CALCULATIONS ARE BASED ON A CONSOLIDATED LOTS 103 AND 104.

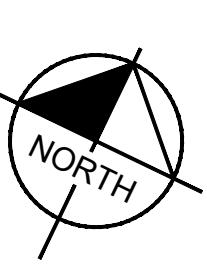
PARKING REQUIREMENTS			
PARKING STALL MIN. DIMENSIONS	REQUIRED	EXISTING	PROPOSED
PARKING REQUIRED FOR INDUSTRIAL USES	2 PARKING SPACES PER 3 EMPLOYEES BASED ON LARGEST SHIFT = 6 SPACES	6 SPACES	NO CHANGE
MIN. AISLE WIDTH	24 FT	20 FT (EN)	24 FT

EN - EXISTING NON-COMFORMITY

SITE NOTES		
1. SEE SHEET C-1.0 FOR GENERAL NOTES.		
2. ALL WALLS GREATER THAN 30" IN HEIGHT TO BE DESIGNED AND PERMITTED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF RHODE ISLAND.		

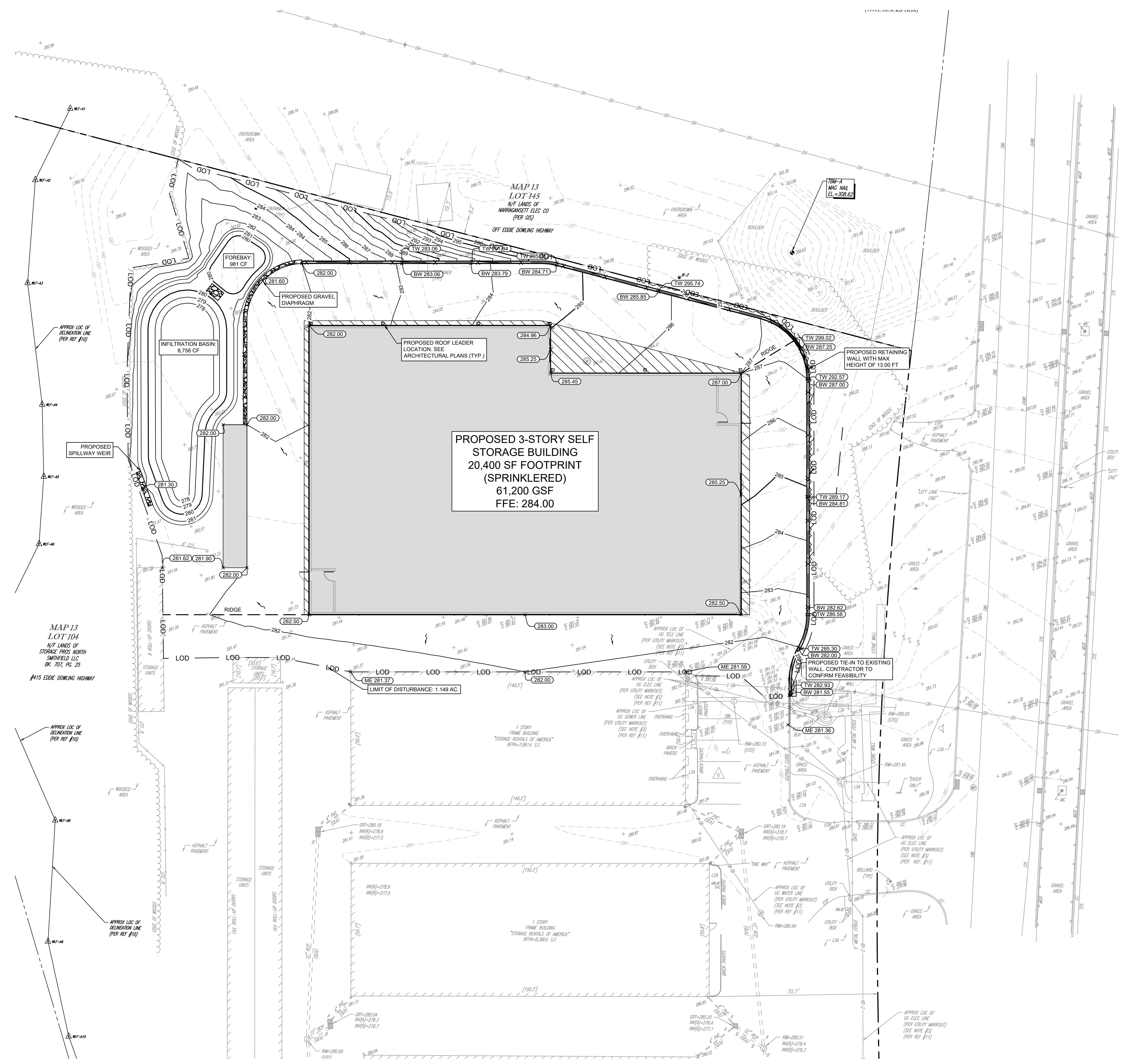
STORAGE RENTALS OF AMERICA SITE AND UTILITY PLAN	
KHA PROJECT 112573000	DATE 5/16/2022
AS SHOWN	SCALE T2
DEIGNED BY: T2	DRAWN BY: T2
CHECKED BY: KCE	
SHEET NUMBER C-3.0	

Kimley Horn
© 2022 KIMLEY-HORN AND ASSOCIATES INC.
1 NORTH ENDINGTON ROAD, SUITE 305
WHITE PLAINS, NY 10601
PHONE: 914-383-9200
WWW.KIMLEY-HORN.COM



GRAPHIC SCALE IN FEET
0 10 20 40

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LEGEND

SITE NOTES

13.906 AC.
AREA: 1.149 AC.
AREA WITHIN 50 FT WETLAND BUFFER: 1,216 SF

OR SHALL CONSTRUCT ALL SIDEWALKS AND
KS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0%
RUNNING SLOPE, UNLESS NOTED AS A RAMP.
WITHIN ADA HANDICAP PARKING AREAS NOT TO
0.0% MAXIMUM SLOPE IN ANY DIRECTION.

DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE
E ARCHITECTURAL PLANS FOR DETAILS.

EFFECT DOES NOT LIE WITHIN A 100 YEAR FLOOD
ONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD
MAP" COMMUNITY PANEL 44007C0157G, DATED

AY EXIST WHICH ARE NOT SHOWN ON THE PLANS.
TRACTOR SHALL BE RESPONSIBLE FOR CONTACTING
Y COMPANIES HAVING UTILITIES WITHIN OR
TO THE WORK AREA. THE CONTRACTOR SHALL HAVE
NES FIELD LOCATED AND COORDINATE WITH THE
MPANIES TO HAVE CONFLICTS RELOCATED WHEN
Y OR ADAPTED FOR TIE-INS.

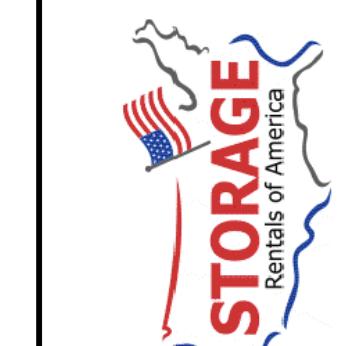
G SLOPE SHALL EXCEED 2H:1V.

GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED
TTED BY AN ENGINEER LICENSED IN THE STATE OF

GREATER THAN 30" IN HEIGHT SHALL HAVE FALL
N THROUGH FENCING FOR HANDRAIL AT A MINIMUM
. REFERENCE LANDSCAPING PLAN FOR DETAILS.

RATION FOR THE STORMWATER BASIN IS BASED ON
U TESTING BY THE GEOTECHNICAL ENGINEER. THE
BASED ON OBTAINING INFILTRATION RATES SIMILAR
STED VALUES PRE-CONSTRUCTION. AS SUCH, THE
ERE STORMWATER IS DIRECTED TO INFILTRATE ARE
N RESIDUAL SOILS AND COMPACTION IS TO BE
ENSURE THE SOIL CHARACTERISTICS CONTINUE TO
AS TESTED PRE-CONSTRUCTION. IF THESE AREAS
RBED, COMPACTION, OR FILLED, THE ENGINEER IS TO
ED AS ADDITIONAL TESTING AND COORDINATION
REQUIRED TO ENSURE THE PREVIOUSLY RECORDED
N RATES CAN BE ACHIEVED.

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WATER QUALITY REQUIREMENT CALCULATIONS

Kimley Horn
of New York, P.C. Kimley Horn of New York, P.C.
1 N Lexington Avenue, Suite 505
White Plains, New York 10601

Overall Existing and Proposed Impervious Area Breakdown

Total Impervious Area under Proposed Conditions = 0.95 ac

Compute Groundwater Recharge Volume (Rev)

5 0.35 Recharge Factor (See T)

Table 3-4 Recharge Factors Based on Hydrologic Soil Group (HSG)	
HSG	Recharge Factor (F)
A	0.60
B	0.35
C	0.25
D	0.10

Rev 0.028 = Req'd Min. Runoff Reduction Volume (in ac-ft)
= (1")(F)(l)

Required Box = 0.038 cu ft

Pollutant Reduction (Water Quality Volume WQv)

WQv 0.079 = Req'd Water Quality WQv (in ac-ft)
= (1")(l)

Area of Disturbance = 1.1 Acres (AcD)

Min WQv 0.019 = Req'd Water Quality WQv (in ac-ft)
= (0.3") \times (AcD)

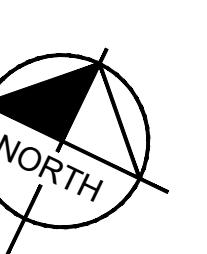
12

GRADING AND DRAINAGE PLAN

STORAGE RENTALS OF AMERICA

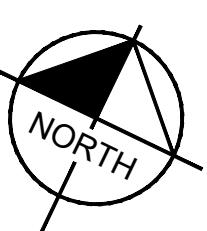
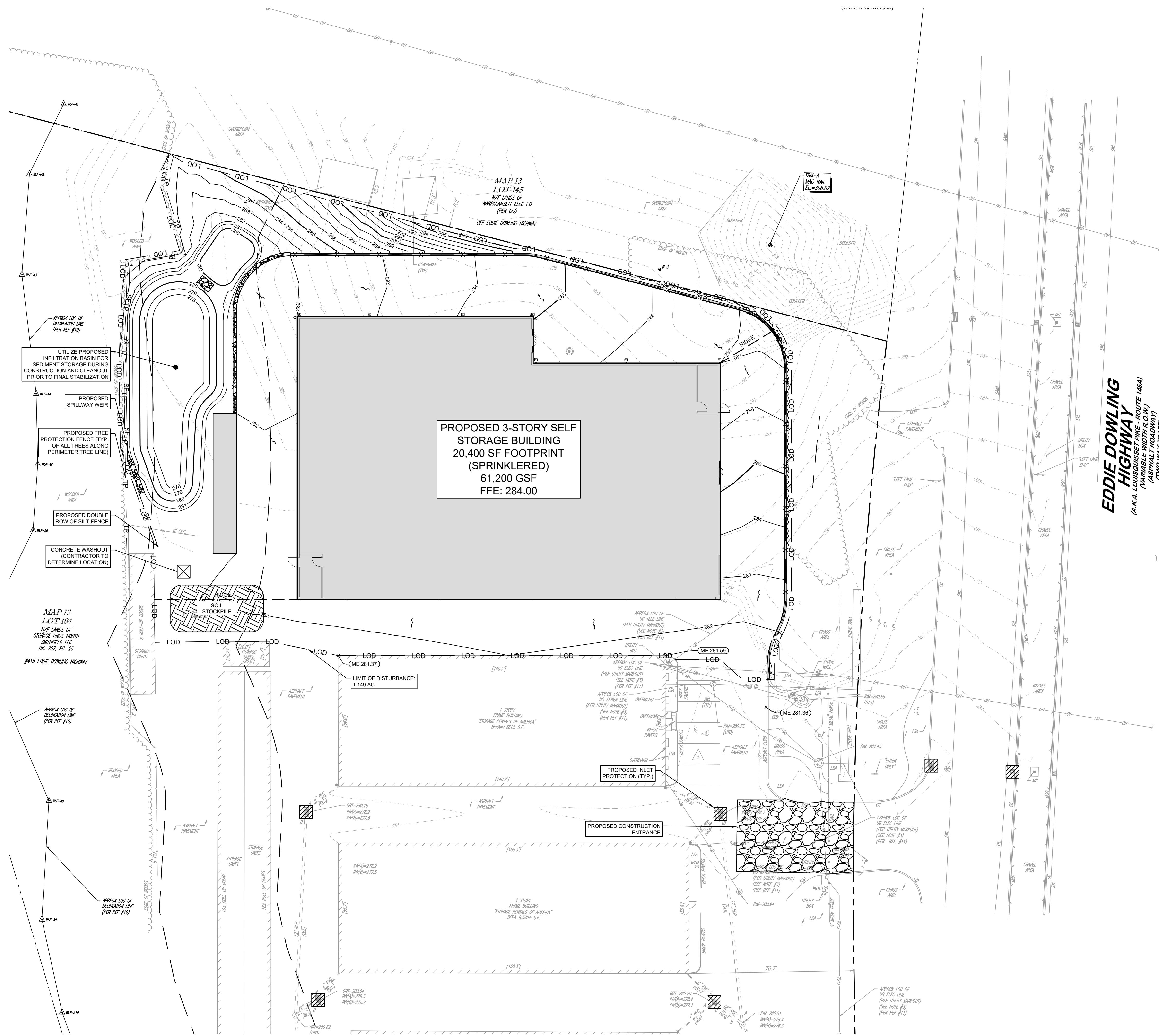
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13, LOTS 103 AND 104

SHEET NUMBER
C-4.0



A horizontal graphic scale in feet, ranging from 0 to 40. The scale is marked at intervals of 10, with labels '0', '10', '20', and '40' positioned above the scale line. The scale is divided into four major segments by these labels. The first segment from 0 to 10 is light gray. The second segment from 10 to 20 is dark gray. The third segment from 20 to 30 is light gray. The fourth segment from 30 to 40 is dark gray. The scale line is a thin black horizontal line.

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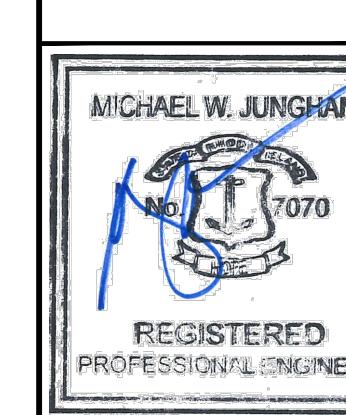


A horizontal graphic scale in feet, ranging from 0 to 20. The scale is marked with numerical values at 0, 10, and 20. The segment between 0 and 10 is divided into two equal parts by a vertical tick mark. The segment between 10 and 20 is also divided into two equal parts by a vertical tick mark. The segments between 0-10 and 10-20 are shaded black, while the segments before 0 and after 20 are white.

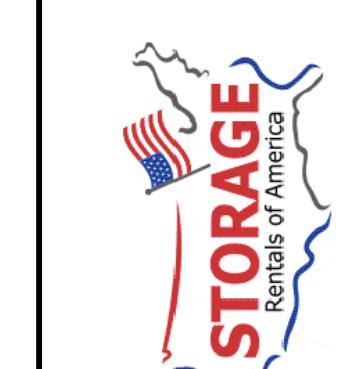
**STORAGE RENTALS OF
AMERICA**

395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13 | OTS 103 AND 104

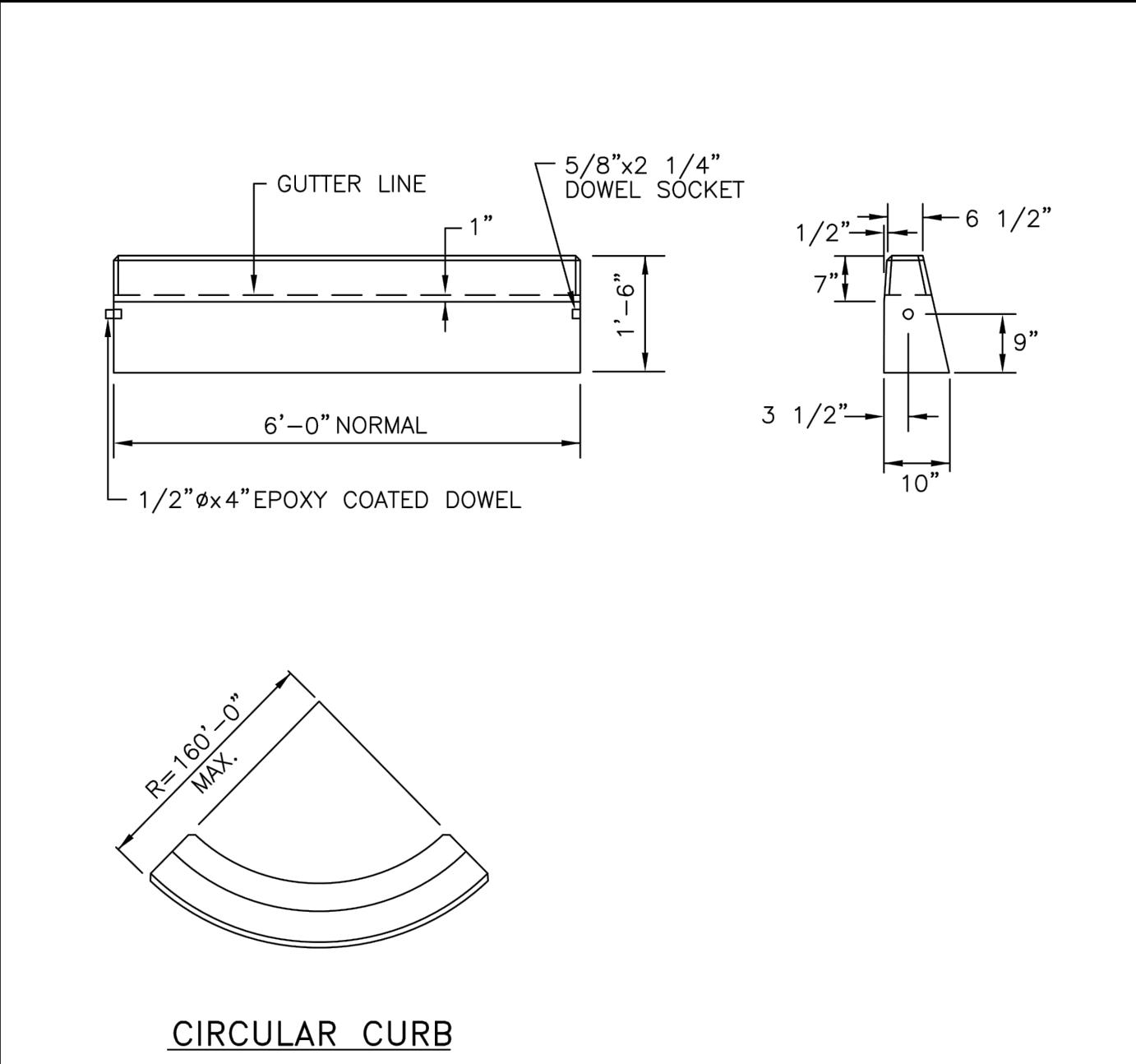
**EROSION AND
SEDIMENT
CONTROL PLAN**



Kimley >> Horn



EROSION AND SEDIMENT CONTROL PLAN



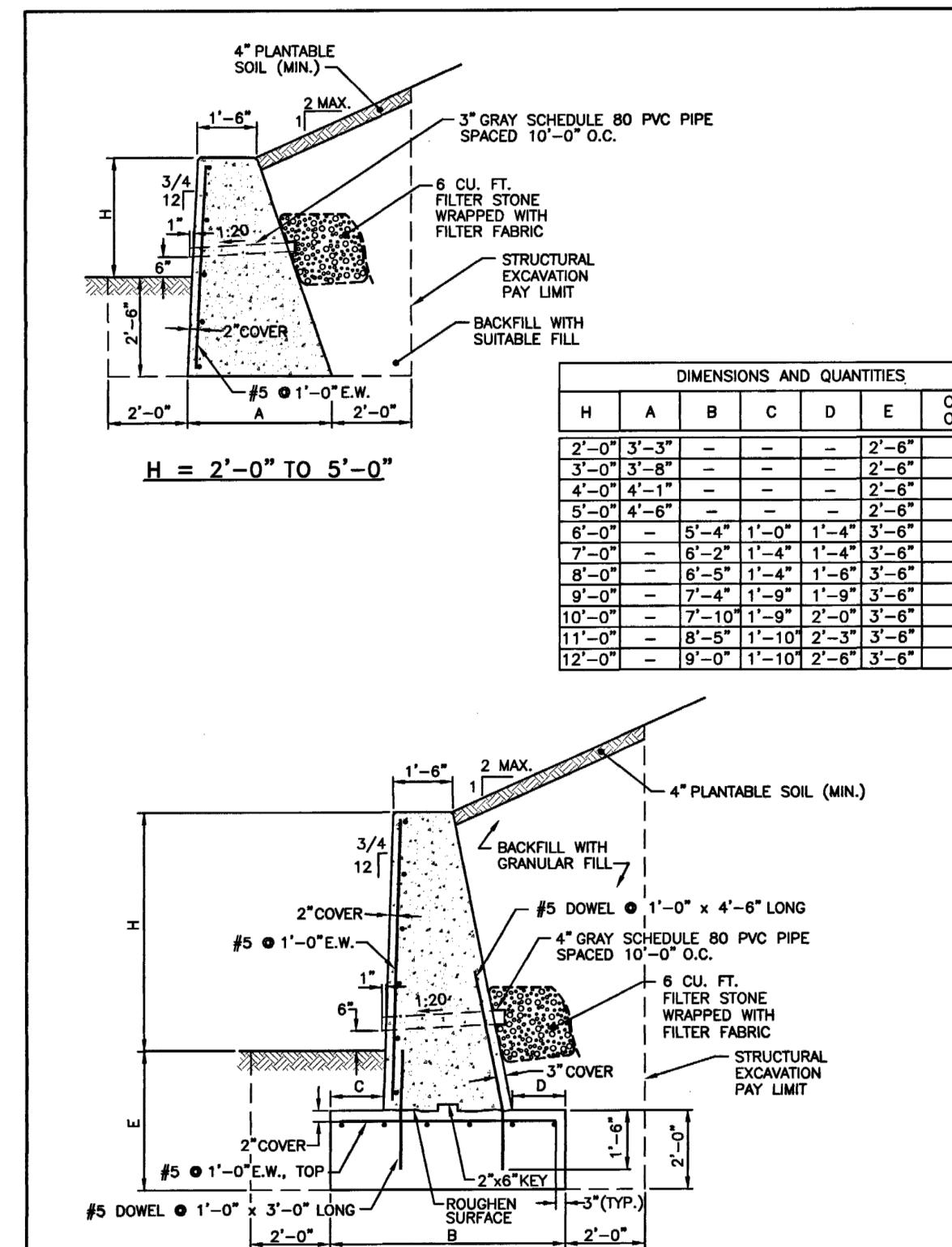
OTES:

- SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
- MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
- EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
- CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
- EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS			PRECAST CONCRETE CURB
NO.	BY	DATE	
1	MLP	Mar 05	





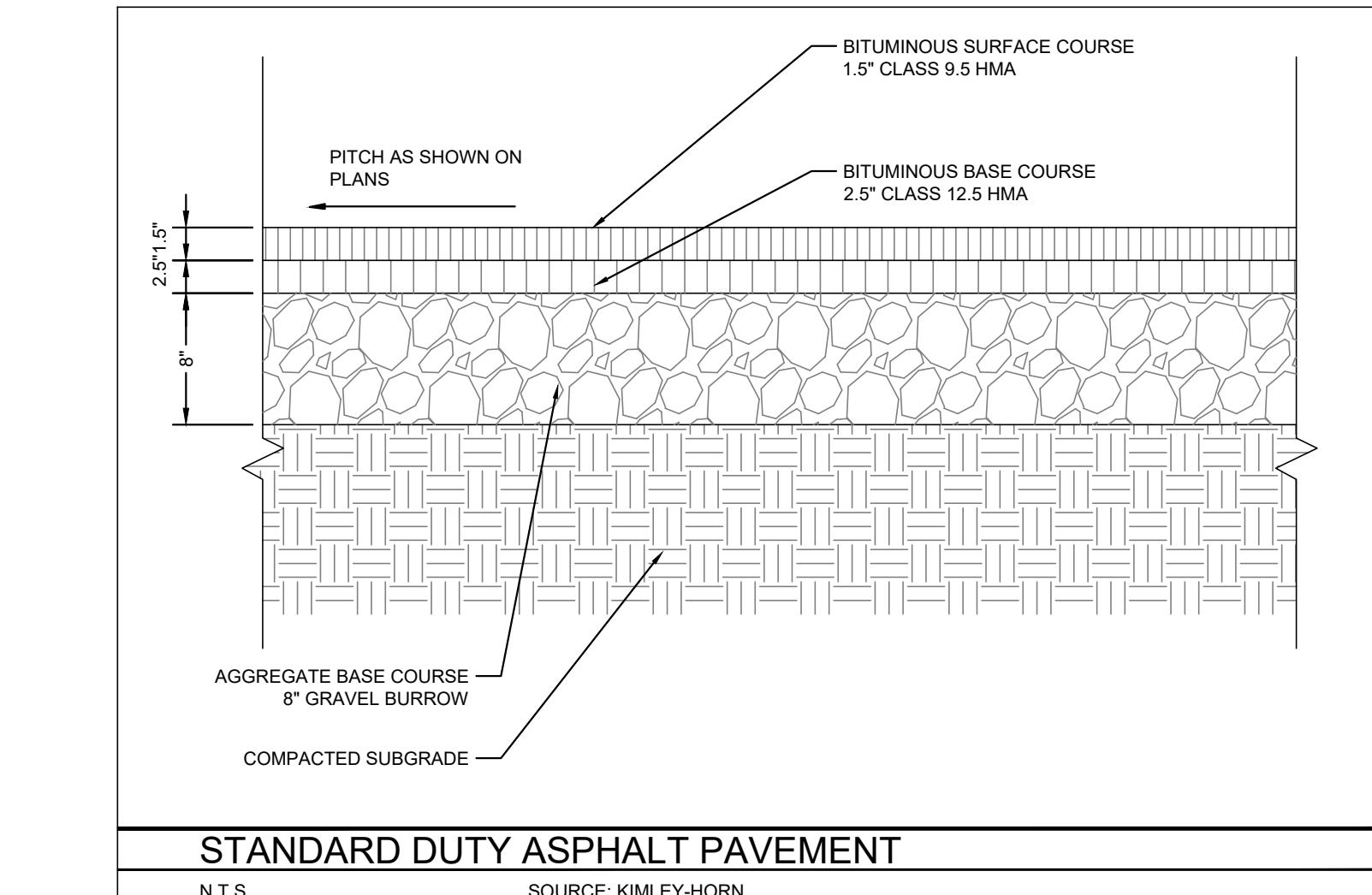
NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 808 OF THE R.I. STANDARD.
2. USE 1/2" PREFORMED JOINT FILLER AND BEVEL EXPOSED EDGES.
3. SEAL BACKFACE WITH 1/4"X1/2" JOINT SEALANT.
4. SURFACE RUB EXPOSED FACE AND TOP.
5. ALL REINFORCING TO BE EPOXY COATED.
6. PROVIDE EXPANSION JOINTS EVERY 25'-0" IN STEMS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

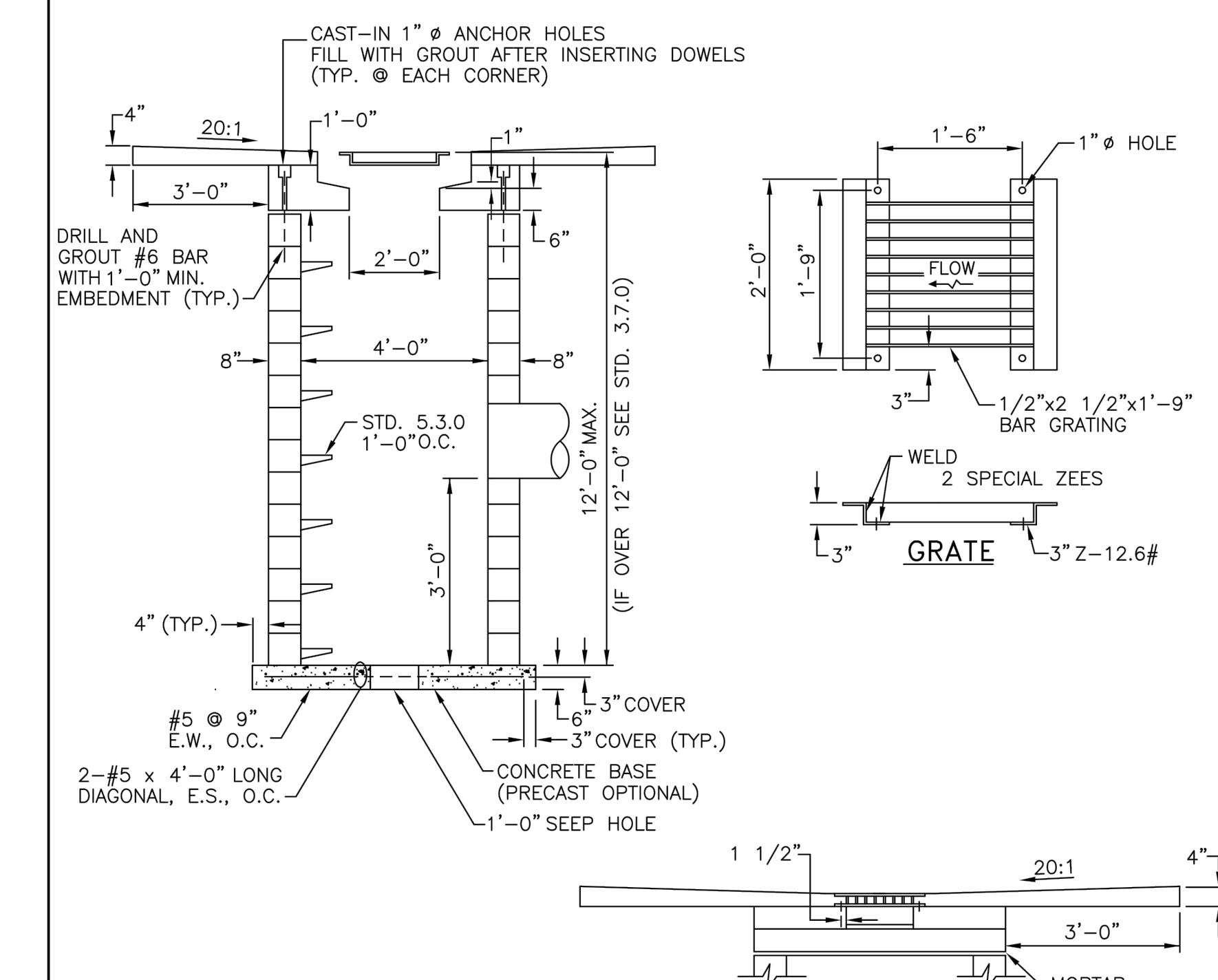
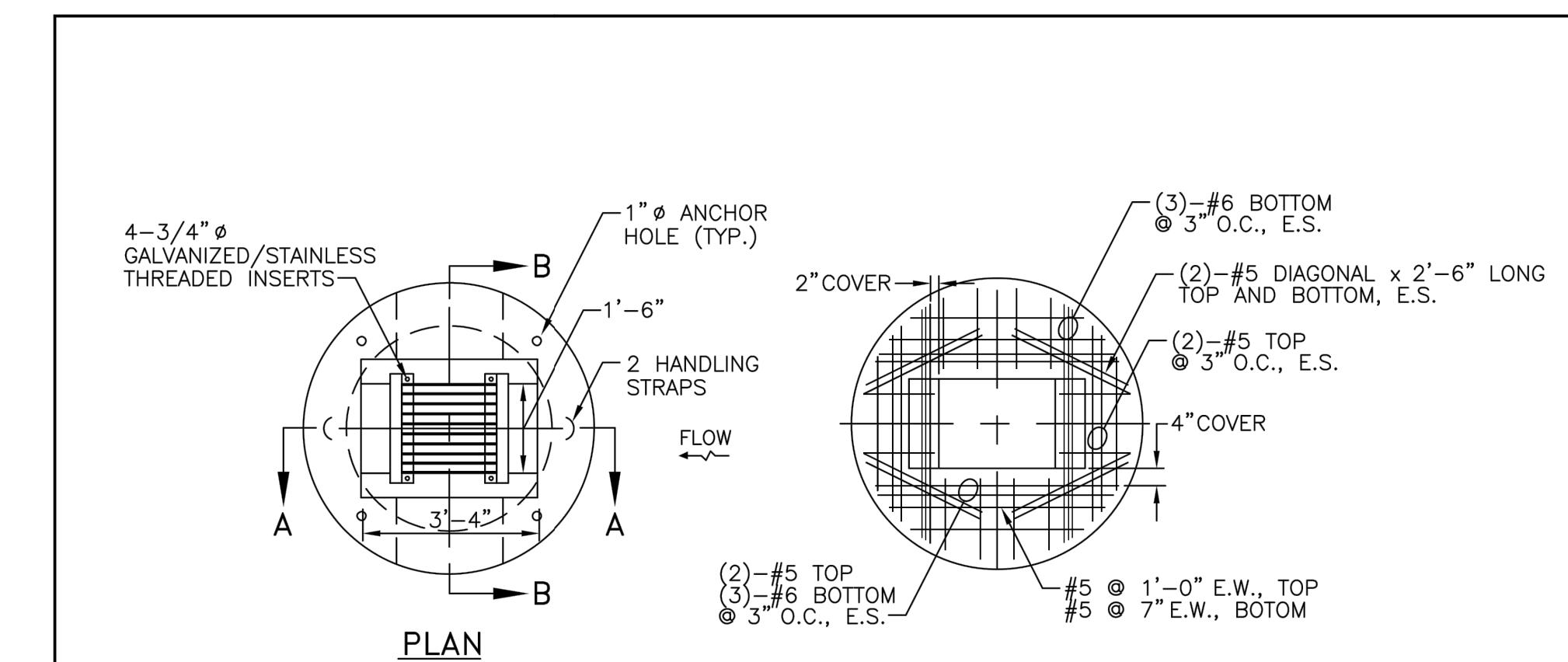
REVISIONS		
NO.	BY	DATE

CONCRETE RETAINING WALL



STANDARD DUTY ASPHALT PAVEMENT

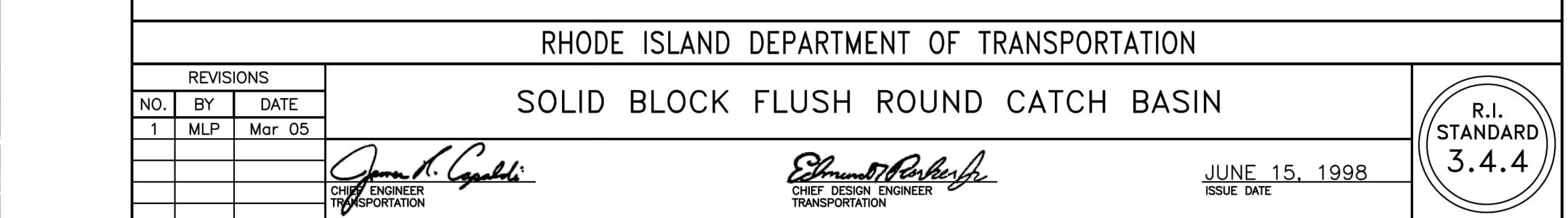
N.T.S. SOURCE: KIMLEY-HORN



SECTION A:

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. 1/2" CEMENT MORTAR PLASTER COAT REQUIRED ON ALL INSIDE AND OUTSIDE SURFACES.
3. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.
4. ALL REINFORCING SHALL BE EPOXY COATED.



PHOENIX ISLAND DEPARTMENT OF TRANSPORTATION

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

SOLID BLOCK FLUSH ROUTINE

SOLID BEGUR FRESH ROUND CATCH BASIN

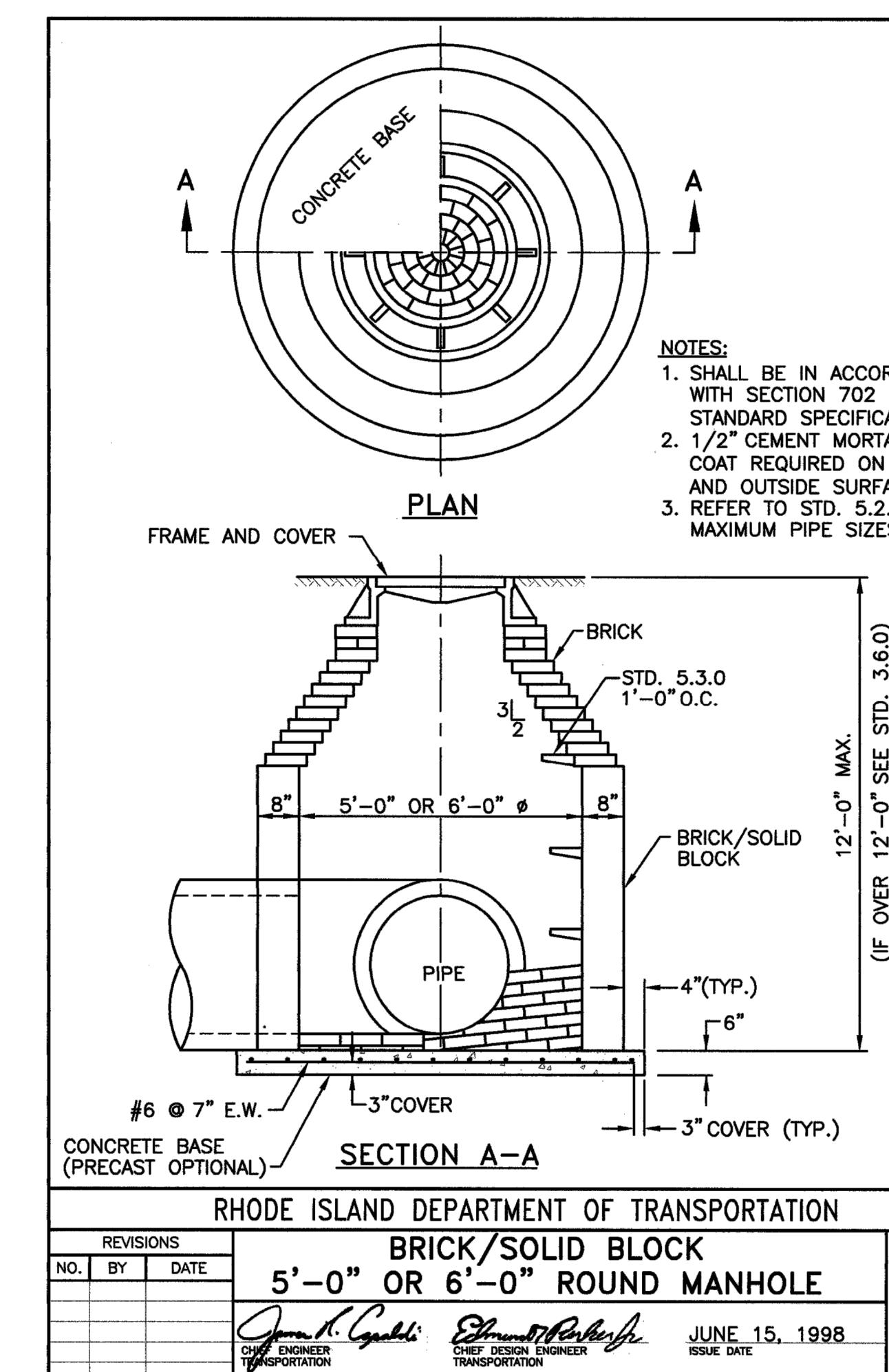
Technical diagram of a chain-link fence section, showing dimensions and components:

- SPRING TENSION WIRE (TYP.)**: Spanning the fence, with a maximum length of **10'-0" MAX.**
- INTERMEDIATE POST**: **2 1/2"-5.79#**
- 3/8" TRUSS ROD WITH TURNBUCKLE (TYP.)**: Spanning the fence, connected to the intermediate posts.
- LINE POST (TYP.)**: **2"-3.65#**
- STRETCHER BARS**: Horizontal bars connecting the fence panels.
- CONCRETE (TYP.)**: Foundation for the posts, with a minimum thickness of **1'-0"Ø MIN.** and a height of **2'-6" MIN.**
- DETERMINED BY HEIGHT OF FENCE**: The height of the fence is determined by the height of the concrete foundation.
- Vertical dimensions:**
 - Bottom of fence to top of concrete: **1'-2.5" (TYP.)**
 - Bottom of fence to bottom of concrete: **2'-6" MIN.**
 - Bottom of concrete to bottom of fence: **1'-0"Ø MIN.**
 - Bottom of concrete to top of fence: **3'-0" MIN.**
 - Top of concrete to top of fence: **2'-6" MIN.**
- Horizontal dimensions:**
 - Width of fence section: **10'-0" MAX.**

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 903 OF THE R.I. STANDARD SPECIFICATIONS.
2. INTERMEDIATE POSTS REQUIRED EVERY 200'-0".
3. ALL PIPES REFER TO SCHEDULE 40 NOMINAL PIPE SIZES.

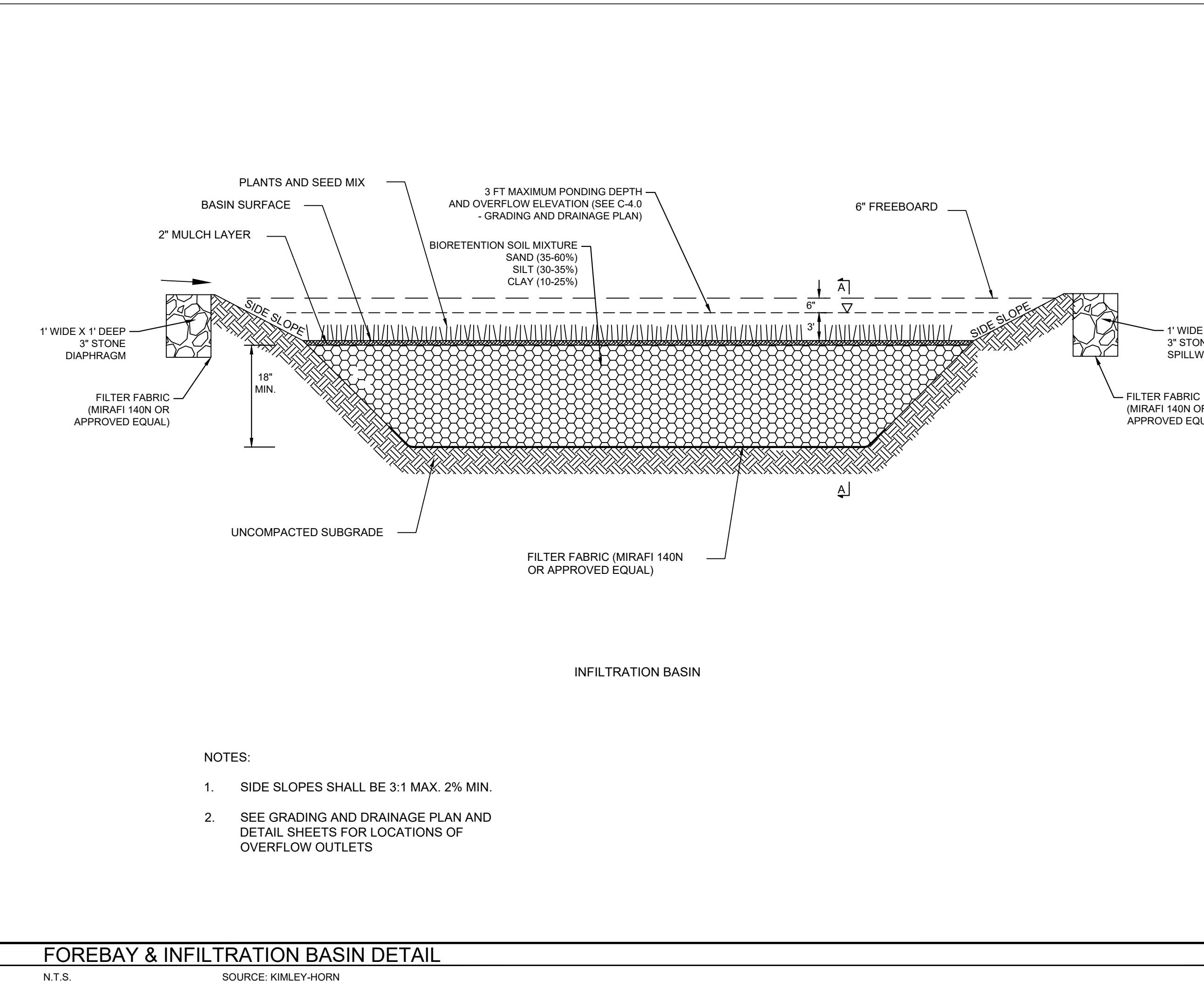
REVISIONS			CHAIN LINK FENCE 5'-0" TO 6'-0" INTERMEDIATE POST	R.I. STANDARD 31.2.
NO.	BY	DATE		
1	MLP	3/1/2005	<i>James A. Capaldi</i> <i>Edmund P. Parker Jr.</i>	JUNE 15, 1998 ISSUE DATE
			CHIEF ENGINEER TRANSPORTATION	CHIEF DESIGN ENGINEER TRANSPORTATION



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

James R. Cogdell *Edmund Parker Jr.* JUNE 15, 1998
CHIEF ENGINEER CHIEF DESIGN ENGINEER
TRANSPORTATION TRANSPORTATION ISSUE DATE

CONSTRUCTION DETAILS		NOT FOR CONSTRUCTION	
STORAGE RENTALS OF AMERICA 395 EDDIE DOWLING HIGHWAY NORTH SMITHFIELD, RI 06705 MAP#13, LOTS 1003 AND 104		© 2022 KIMLEY-HORN AND ASSOCIATES INC. 1 NORTH LEXINGTON AVENUE, SUITE 505 WHITE PLAINS, NY 10601 PHONE: 914-368-9200 WWW.KIMLEY-HORN.COM	
Michael W. Junghans  REGISTERED PROFESSIONAL ENGINEER		KHA PROJECT 112573000 DATE 5/19/2022 SCALE: AS SHOWN DESIGNED BY: T2 DRAWN BY: T2 CHECKED BY: KCE	
Sheet Number C-6.0		REVISIONS NO. DATE BY	



STORAGE RENTALS OF AMERICA
395 EDDIE DOWLING HIGHWAY
NORTH SMITHFIELD, RI 06705
MAP 13, LOTS 103 AND 104
TOWN OF NORTH SMITHFIELD

SHEET NUMBER
C-6.1

MICHAEL W. JUNCHANS
REGISTRATION NO. 7070
REGISTERED PROFESSIONAL ENGINEER

NOT FOR CONSTRUCTION

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WHITE PLAINS, NY 10601
PHONE: 914-385-9200
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KHA PROJECT
11257300
DATE
5/16/2022
SCALE:
AS SHOWN
DESIGNED BY:
T2
DRAWN BY:
T2
CHECKED BY:
KCE