

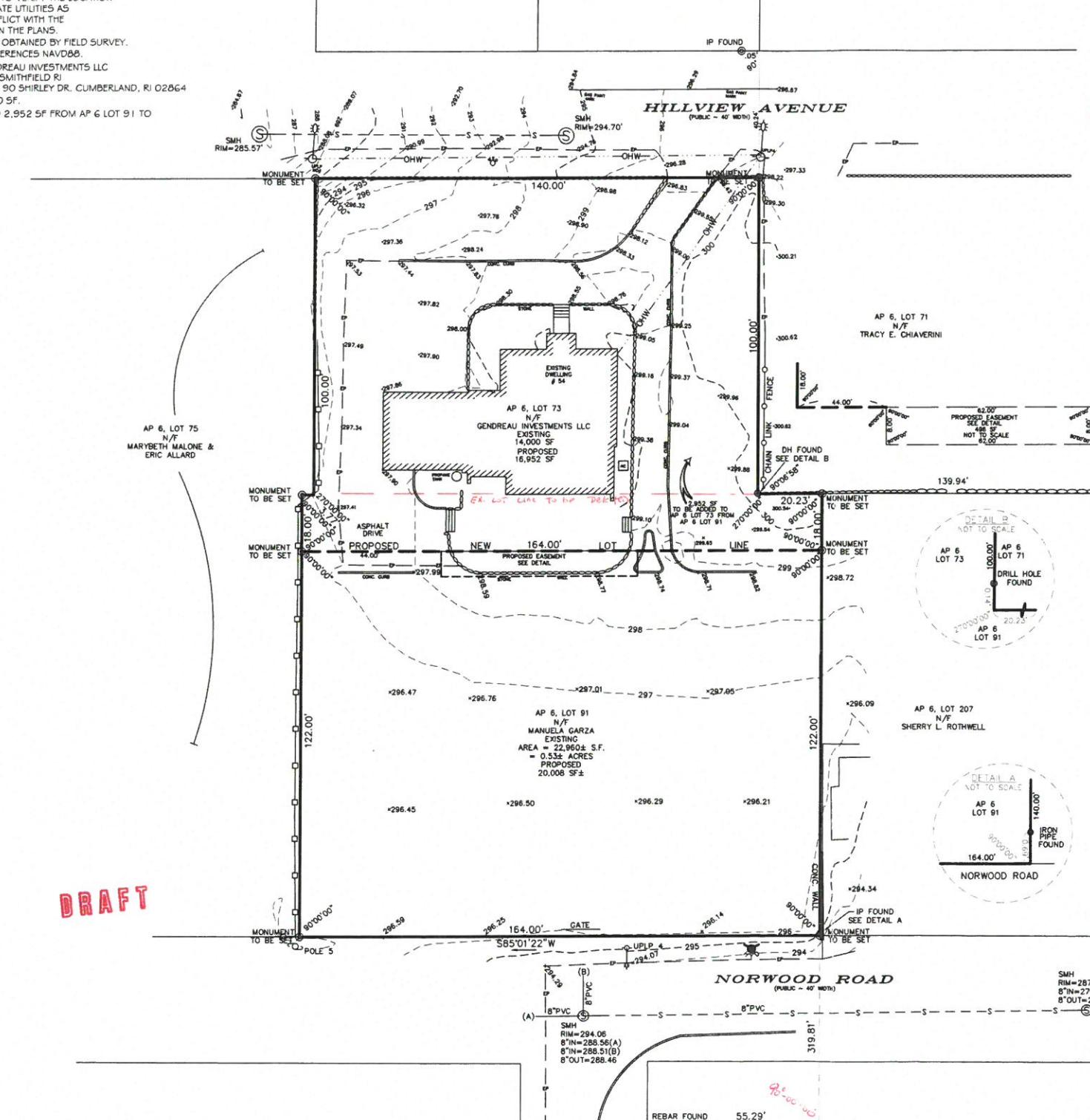
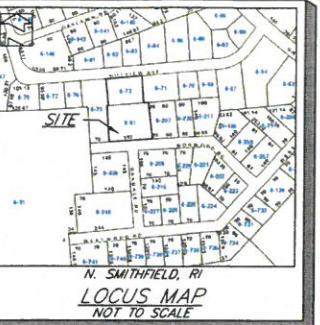
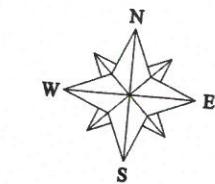
NOTES:
1. THIS PARCEL LIES WITHIN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007C01566. MAP EFFECTIVE DATE: MARCH 2, 2009
ZONE X = AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL NOTIFY 'DIG-SAFE' PRIOR TO EXCAVATION AND SHALL NOTIFY LOCAL UTILITY COMPANIES BEFORE COMMENCEMENT OF WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RELOCATE UTILITIES AS REQUESTED SHOULD THERE BE A CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

3. HORIZONTAL DATA ON THIS PLAN WAS OBTAINED BY FIELD SURVEY.
4. THE VERTICAL DATA ON THIS PLAN REFERENCES NAVD88.
5. OWNER & APPLICANT: AP 6 LOT 73 GENDREAU INVESTMENTS LLC
25 MATTITY RD N. SMITHFIELD RI

OWNER: AP 6 LOT 91 MANUELA GARZA 90 SHIRLEY DR. CUMBERLAND, RI 02864
6. TOTAL AREA OF SUBDIVISION = 36,960 SF
7. THE PURPOSE OF THIS PLAN IS TO ADD 2,952 SF FROM AP 6 LOT 91 TO AP 6 LOT 73.

REFERENCES:
1. PLAN ENTITLED 'THE VILLAGE ACRES AT UNION VILLAGE NO. SMITHFIELD, R.I. BY EARL R. MARSH, ENGR. SCALE 1 INCH = 60 FT. SEPTEMBER, 1950. RECORDED AT PLAT BOOK 2 PAGE 97.
2. LOTS AT UNION VILLAGE FOR SALE BY AMEY ANN LAPHAM, INDIVIDUALLY AND AS TRUSTEE NORTH SMITHFIELD, R.I. APRIL, 1935.



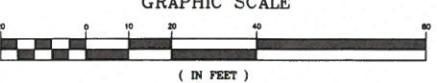
ZONING: RU
MIN. AREA = 20,000 SF.
MIN. LOT FRONTAGE = 100 FT.
MIN. FRONT YARD = 25 FT.
MIN. SIDE YARD = 20 FT.
MIN. REAR YARD = 40 FT.
MAX. BUILDING COVERAGE = 20%
MAX. BUILDING HEIGHT = 30 FT.
(SEE REGULATIONS FOR ADDITIONAL INF.)

NORTH SMITHFIELD, RI
MAJOR SUBDIVISION PLAN
PREPARED FOR
GENDREAU INVESTMENTS LLC.
AND
MANUELA GARZA
SURVEY OF
AP 6 LOT 73 & 91
HILLVIEW AVE AND NORWOOD AVE
ZONE RU
AUGUST 12, 2022
BY



450 GEO. WASH. HWY. SMITHFIELD, RI
(401) 231-0900

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE, JANUARY 2016.
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
MAJOR SUBDIVISION
LIMITED CONTENT BOUNDARY SURVEY - MEASUREMENT SPECIFICATION - 1
TOPOGRAPHIC SURVEY ACCURACY T-2

BY:
STEPHEN T. LONG NO. 1930
C.O.A. LS-1538

RECEIVED
8/15/22

THIS PLAN TO BE INDEXED BY THE FOLLOWING:
HILLVIEW AVE
NORWOOD RD